

ENERGY RATERS STAMP

ISSUE DATE  
Revision 1 - 20/10/2023  
DRAWING STATUS  
**SALES STAGE**

\*\*PERSPECTIVES ARE FOR ILLUSTRATIVE PURPOSES ONLY. REFER TO SPECS & SELECTION FOR THE INCLUSIONS.



**NEW RESIDENCE**  
LOT 10 (14A) LOMANDRA COURT, YARRAWONGA, VIC 3730

SCALE @ A3  
CHK. BY: - DWG. BY: KAS  
REG. NO.: DB-U 28382

DRAWING NO. XX-XXXXX-WD00

BUILDING SPECIFICATIONS: (TBC)		CHANGE LOG:	
ROOF:	MONUMENT	AUTO-SECTIONAL DOOR:	COSMOPOLITAN - MONUMENT
GUTTER:	MONUMENT	PORCH:	133 AXON LINED CEILING; EXP. AGG.
FASCIA:	MONUMENT	ALFRESCO:	VERSILUX LINED CEILING; EXP. AGG.
SPOUT:	MONUMENT	MAIN FLOOR COVERING:	HYBRID
ALUM. WINDOWS & DOORS:	MONUMENT	POOL SIDE:	N/A
CLADDING:	133 AXON SMOOTH - BLACK WALLNUT	EXPOSED AGGREGATE:	BEACHSIDE
FACE BRICKS:	VAULT GREY	<b>NOTE:</b> CHANGING THE COLOURS OR MATERIALS ABOVE MAY HAVE COST IMPLICATIONS. IF CONFLICT ARISE BETWEEN THIS TABLE & COCONSTRUCT SPECS & SELECTIONS, PLEASE ALWAYS ASK & CONFIRM.	
RENDER:	MARBLE MIST / MONUMENT		
STONE:	N/A		

CHANGE LOG:		REVISION 1

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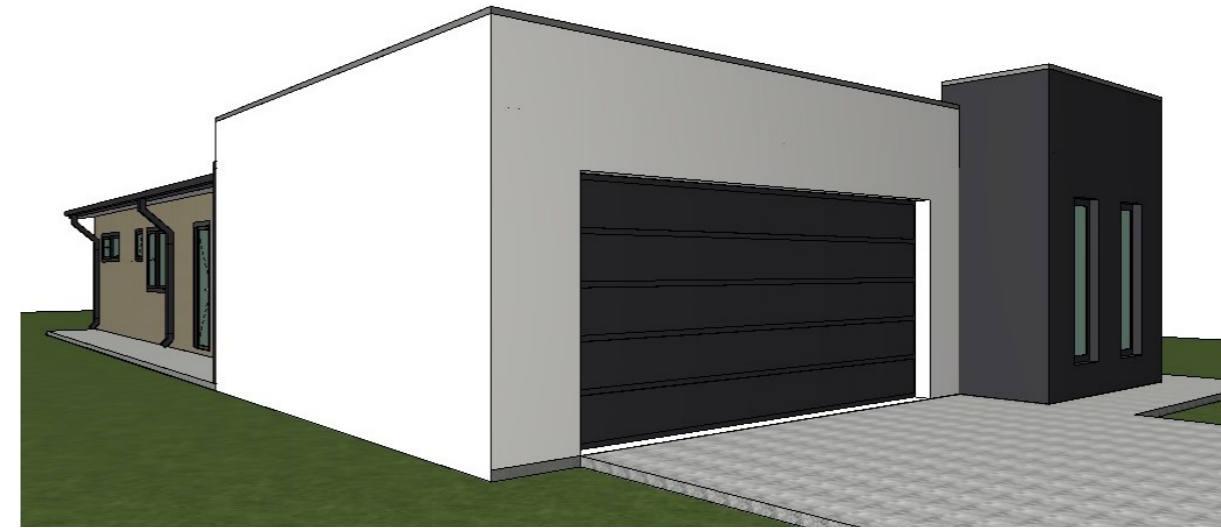
DATE : \_\_\_\_\_

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CONTACT:  
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**PERSPECTIVE**



ENERGY RATERS STAMP

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**SALES STAGE**

**NEW RESIDENCE**  
LOT 10 (14A) LOMANDRA  
COURT, YARRAWONGA,  
VIC 3730

SCALE  
1:1.90, 1:2.20, 1:2.30, 1:2.25, 1:2.53@  
CHK. BY: DWG. BY:  
- KAS  
REG. NO.:  
DB-U 28382

DRAWING NO.  
**XX-XXXXX-WD00**

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**PERSPECTIVES**

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DATE : \_\_\_\_\_

**WALL & CEILING INSULATION:**  
 - R2.0 WALL INSULATION TO EXTERNAL PERIMETER HOUSE WALL EXCEPT GARAGE EXTERNAL WALLS  
 - R4.1 CEILING INSULATION TO HOUSE EXCEPT GARAGE

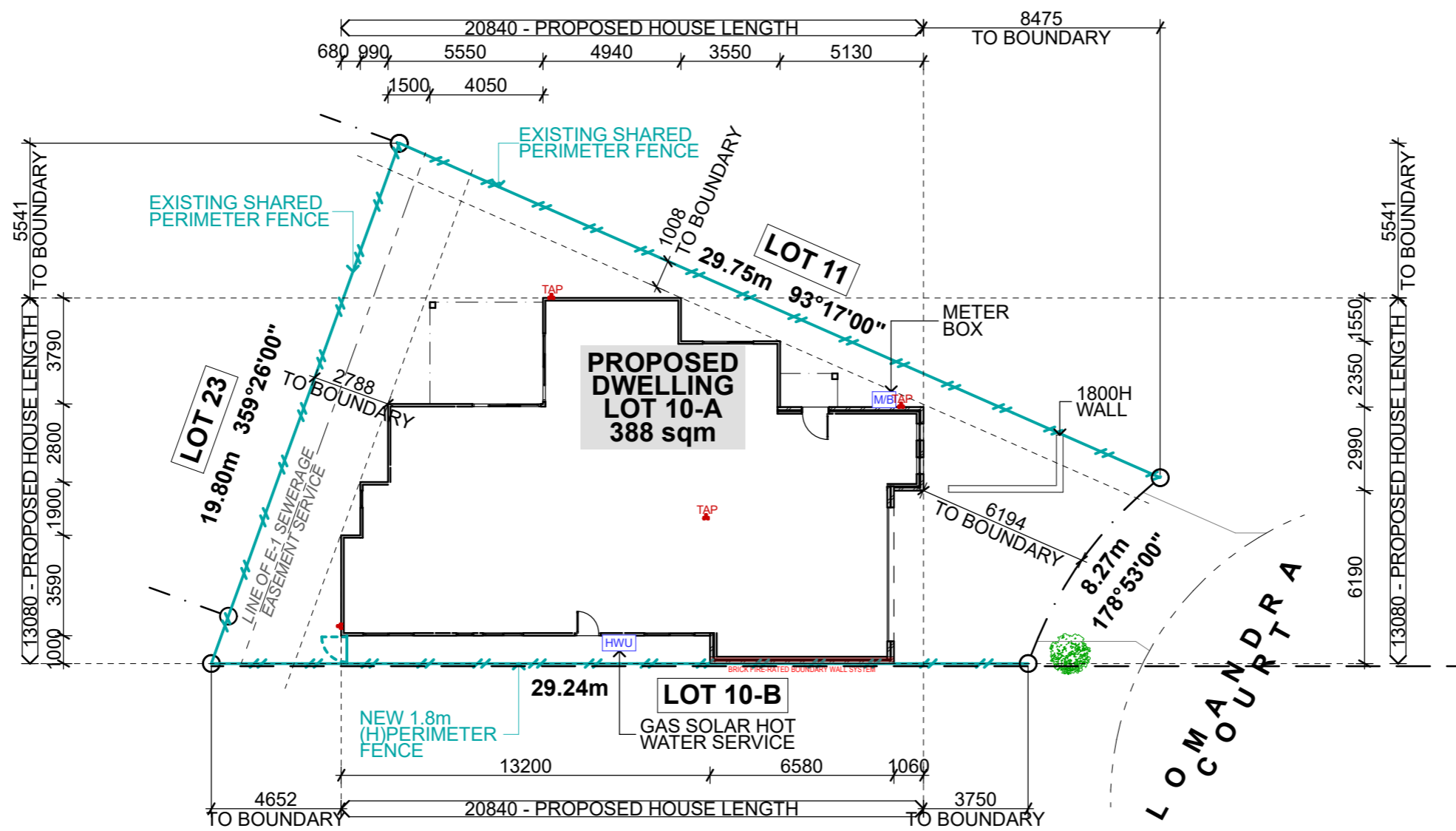
CONCRETE WAFFLE POD SLAB  
 EVAPORATIVE COOLING  
 DUCTED GAS HEATING

ENERGY RATERS STAMP

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**NOTES:**  
 All site dimensions are in meters unless specified otherwise and are shown approximate only.  
 For details of all easements, refer to the subdivision plan or certificate of title and other information by the responsible authority.  
 Refer to plan of subdivision of all bearings, distances and other site information.  
 All stormwater, waste water and sewer / septic details to the requirements of the responsible authority.

Soil Type:	P (TBC)
Wind Category:	N2 (TBC)
BAL Compliance:	N/A
Outer Area:	NO
Slab Thickness:	100mm (TBC)



**NEW RESIDENCE**  
 LOT 10 (14A) LOMANDRA COURT, YARRAWONGA, VIC 3730

SCALE  
 1:200 @ A3  
 CHK. BY: - DWG. BY: KAS  
 REG. NO.: DB-U 28382

DRAWING NO.  
**XX-XXXXX-WD01**

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**SET-OUT PLAN**  
 SCALE 1:200

**SET-OUT PLAN**

**WALL & CEILING INSULATION:**  
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 EVAPORATIVE COOLING  
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Soil Type:	P (TBC)
Wind Category:	N2 (TBC)
BAL Compliance:	N/A
Outer Area:	NO
Slab Thickness:	100mm (TBC)

**PLANNING SCHEME REQUIREMENTS**  
 Garden Area Requirement:  
 UP TO 500sqm=25%; 501-650sqm=30%; ABOVE 650sqm=35%

Site Area:	<b>388 sqm</b>
Garden Area Required (25%):	97.00 sqm
Garden Area Proposed:	<b>116.39 sqm</b>
Permeable Area Required (20%):	77.60 sqm
Permeable Area Proposed:	<b>102.58 sqm</b>

**SITE COVERAGE REQUIREMENTS**  
 Maximum site coverage allowable (60%): 232.80 sqm  
 Maximum site coverage proposed (54.87%): **212.89 sqm**

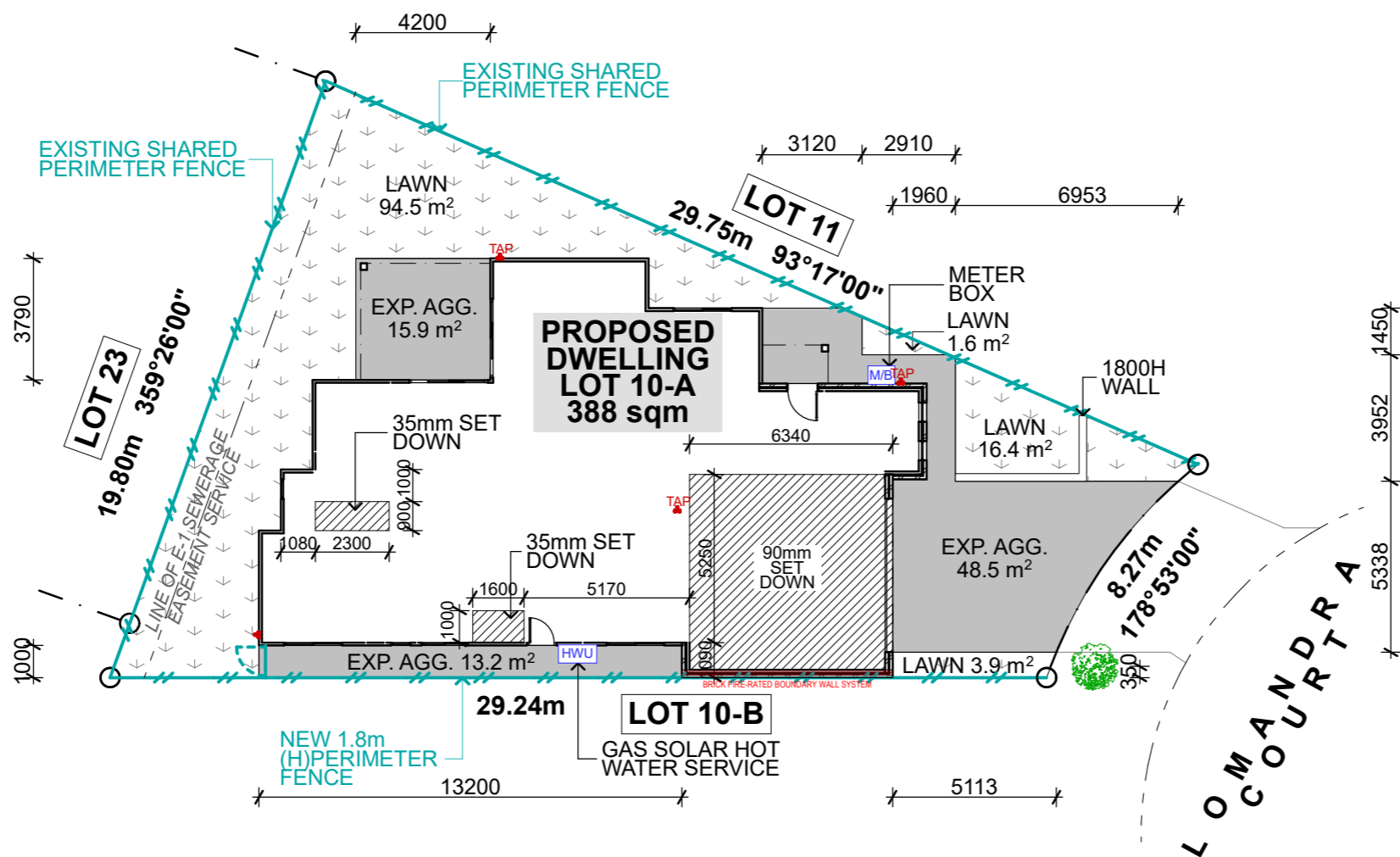
**NEW RESIDENCE**  
 LOT 10 (14A) LOMANDRA COURT, YARRAWONGA, VIC 3730

SCALE  
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DRAWING NO.  
**XX-XXXXX-WD02**

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**CONCRETE & LANDSCAPE PLAN**



**CONCRETE & LANDSCAPE PLAN**  
 SCALE 1:200

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 DATE : \_\_\_\_\_

2550mm CEILING HT.

CONCRETE WAFFLE POD SLAB

EVAPORATIVE COOLING

DUCTED GAS HEATING

SYMBOLS:

- Gas point
- Tap / Water point
- Meter Box
- Hot Water Unit
- Refrigerated Air Conditioning Unit
- Downpipe

- Internal insulated stud wall
- Internal sound insulated stud wall
- External stud wall with weatherboard cladding
- Brick veneer wall
- Double brick wall
- Rendered brick veneer wall

LEGEND

General

- AS Australian Standards
- AL Aluminium
- BCA Building Code of Australia
- CBD Cupboard
- CRS Centres
- HT Height
- O/A Over all
- B/H Bulk head
- CH Ceiling height
- O/H Over head
- S.P. Set-out Point

Kitchen

- OHC Over head Cupboard
- UBO Under bench oven
- SK Sink
- CT Cook top
- OV Oven
- F Refrigerator
- DW Dishwasher
- MW Microwave
- WO Wall Oven
- BF Bar Fridge
- WF Wine Fridge
- SH Shelf

Laundry

- WM Washing Machine
- D Dryer
- TR Trough

Bathrooms

- OHS Overhead Shower
- TWR Twin Water Rail Shower
- SWR Single Water Rail Shower
- WC Water closet
- VB Vanity Basin
- BT Bath Tub
- FBT Freestanding Bath Tub

Bathrooms

- FW Floor Waste
- CW Channel Waste
- RH Robe Hook
- TRL Towel Rail
- DP Down Pipe

WINDOWS & DOORS:

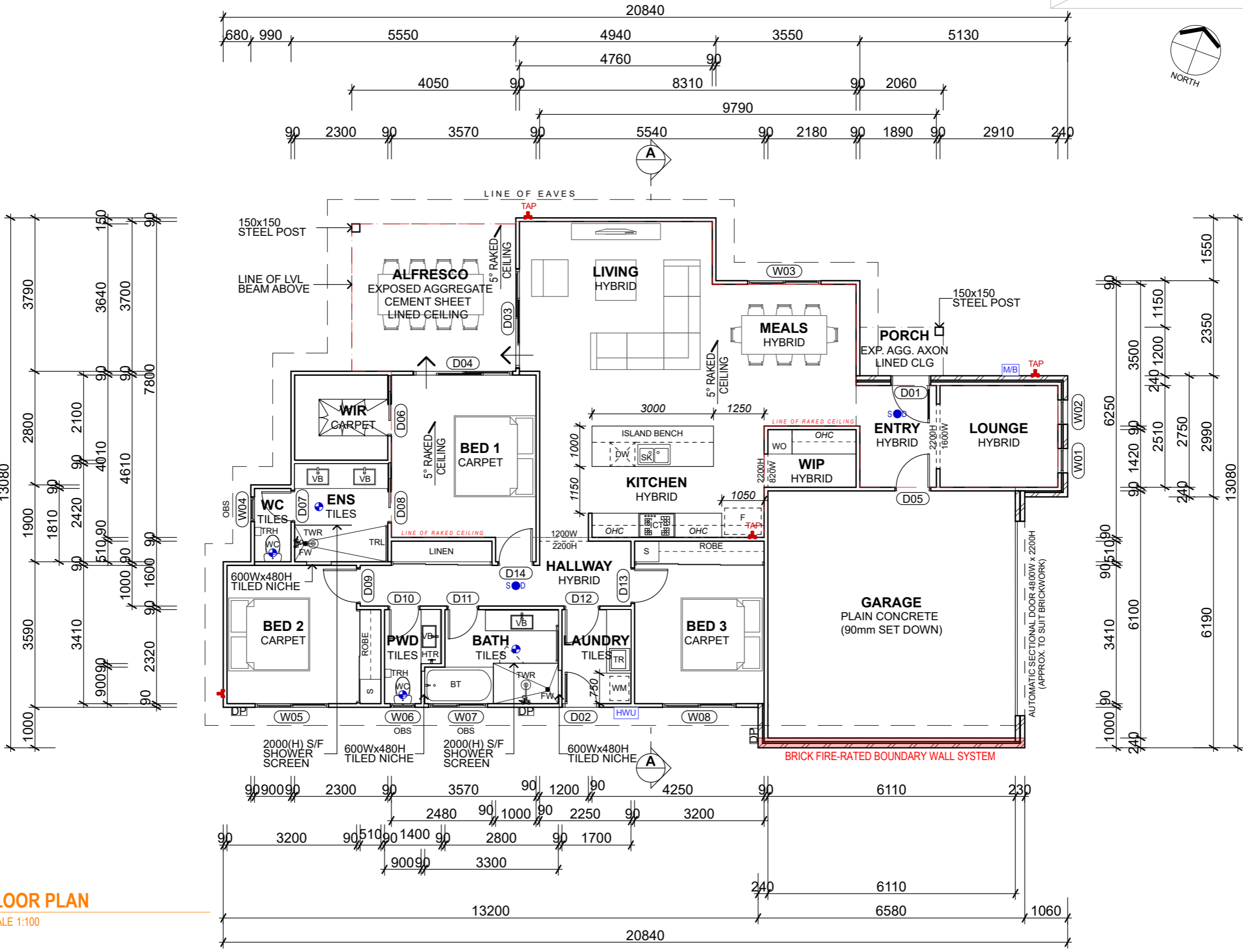
- OBS - Obscure Glazing
- DG - Double Glazing
- OS/T - 300Ø Solar Tube
- CP - Comfort Plus Glazing
- SG - Sunergy Grey

STRUCTURAL NOTES

Bracing Plan by Engineer if required.

FLOOR PLAN

SCALE 1:100



PLUMBING WORKS: PLUMBING TAPWARE, FIT-OFF HARDWARE & APPLIANCES ARE REPRESENTATION ONLY. PLEASE ALWAYS REFER TO COCONSTRUCT SPECS & SELECTIONS.

BLINDS: - TO PROVIDE BLOCK-OUT BLINDS TO ALL ALUMINUM DOORS & WINDOWS EXCEPT TO WET AREAS, NOT UNLESS OTHERWISE STATED TO COCONSTRUCT SPECS & SELECTIONS.

WALL & CEILING INSULATION: - R2.0 WALL INSULATION TO EXTERNAL PERIMETER HOUSE WALL EXCEPT GARAGE EXTERNAL WALLS - R4.1 CEILING INSULATION TO HOUSE EXCEPT GARAGE

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GENERAL NOTE:  
All dimensions, site and soil conditions to be verified on site, by the builder prior to ordering or placing any materials.  
All work shall conform to the National Construction Code of Australia.  
Do not scale drawings.  
This drawings is Copyright.  
WALL THICKNESS  
External Brick Veneer walls - 240mm  
Internal Stud walls - 90mm (unless otherwise stated)  
WEATHER STRIPS  
Weather strip to all external hinged doors.  
DOORS  
Doors shall be 820x2040 unless noted otherwise. Bathroom, Ensuite and Toilets shall have 720x2040 doors (unless otherwise stated)

AREAS	SQM	SQS	EXT PERIM
LIVING	153.58	16.53	54.07
GARAGE	40.40	4.35	13.77
PORCH	2.98	0.32	3.56
ALFRESCO	15.92	1.71	7.99
TOT FLR AREA	212.89	22.92	-
TOT UNDER ROOF	228.41	24.59	-

SQUARE SET TO ENTIRE HOUSE NOT UNLESS OTHERWISE STATED IN COCONSTRUCT SPECS & SELECTIONS

NEW RESIDENCE  
LOT 10 (14A) LOMANDRA COURT, YARRAWONGA, VIC 3730

SCALE  
1:100 @ A3

CHK. BY: DWG. BY:  
KAS KAS

REG. NO.:  
DB-U 28382

DRAWING NO.  
XX-XXXXX-WD03

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FLOOR PLAN

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DATE : \_\_\_\_\_

BUSHFIRE REQUIREMENTS  
The proposed dwelling is NOT located in Bushfire Prone Area & therefore does not require a BAL assessment or any construction requirements as per AS3959:2009

SMOKE DETECTORS  
Smoke Detectors to be fitted between bedrooms & living areas. These shall be installed as per AS3786 all smoke detectors to be interconnected. Connect to main electricity supply.

BATHROOM / ENSUITE  
Insitu shower. All work to BCA Part 3.8.1. Provide mechanical ventilation to all baths and ensuite's in accordance with AS 1668.2 and BCA Part 3.8.5

JOINERY:  
All pantry, robes, cupboards and W.I.R. details by cabinet maker and to be verified with client or building designer prior to manufacture.  
BALUSTRADE  
To comply with AS 1170.1 and BCA 3.9.2

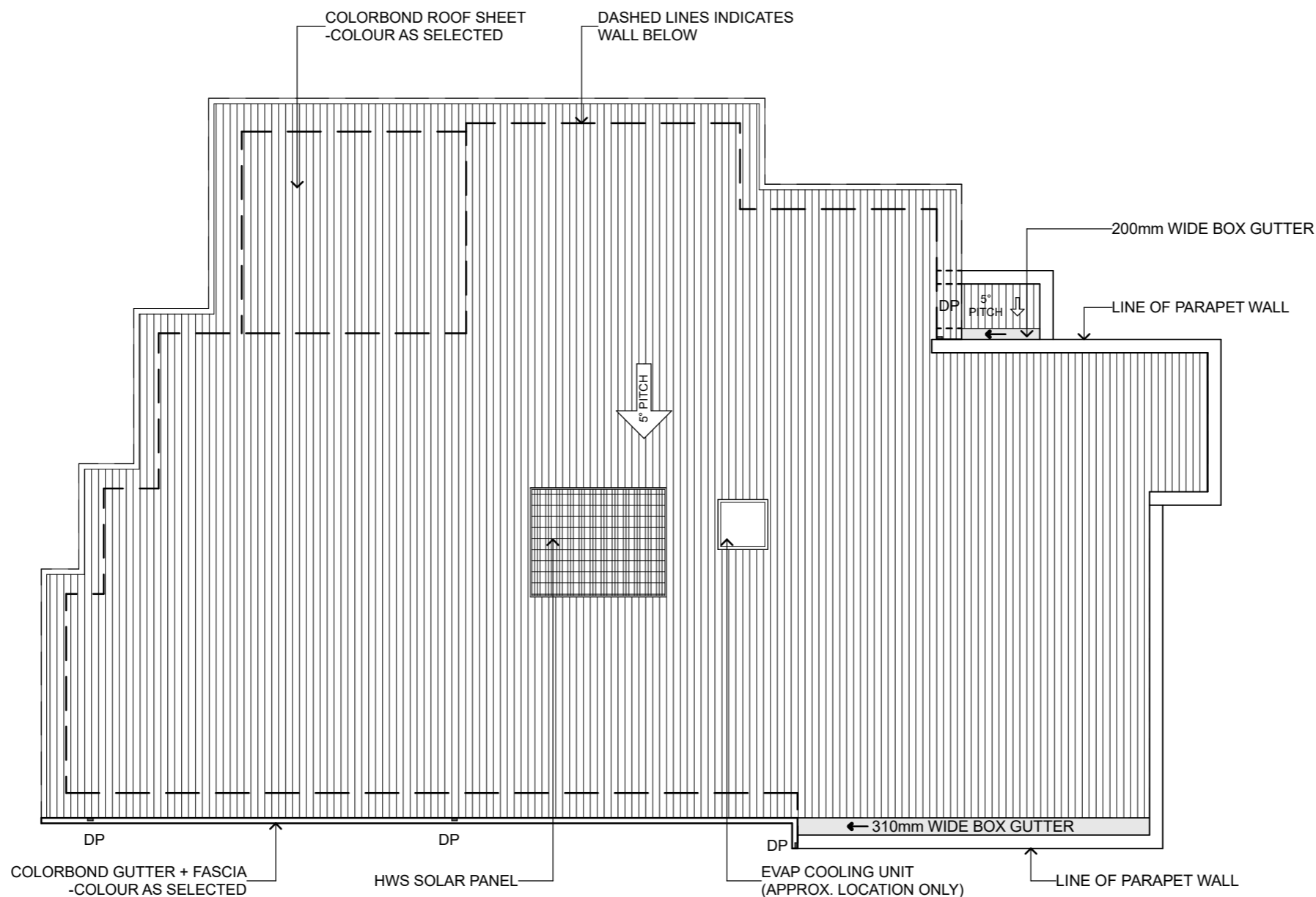
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**SALES STAGE**

**NOTES:**  
■ DP Denotes colorbond downpipes.  
Downpipes at 12m cts. max. Locate a DP within 1.2m of any valley.  
- - - Dashed line denoted walls under.  
↖ Denotes roof pitch  
Colourbond roofing installed to manufacturer's requirements and BCA regulations.  
All roofing to comply with A3500. Make roof watertight.  
Install sarking below all metal roofs. Extend sarking 50mm into gutters.  
All box gutters to comply with SAA/SNZ 114 Current Version  
-Guidelines for Design of Eaves and Box Gutters  
Turn throughs of all decking down 15mm at ends of all sheets.

- TO PROVIDE ROOF FLUE VENT FOR EXHAUST FANS & RANGE HOODS  
- TO PROVIDE ROOF VENTILATIONS. VERIFY ROOF SUPPLIER FOR LOCATION



**NEW RESIDENCE**  
LOT 10 (14A) LOMANDRA COURT, YARRAWONGA, VIC 3730

SCALE  
1:100 @ A3

CHK. BY: -      DWG. BY: KAS

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DRAWING NO.  
**XX-XXXXX-WD04**

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**ROOF PLAN**

**ROOF PLAN**  
SCALE 1:100

**SIGN HERE**  
DATE : \_\_\_\_\_

FLOOR COVERING AREA	
ROOM NAME	FINISHES
BATH	TILES
BEDROOM 1	CARPET
BEDROOM 2	CARPET
BEDROOM 3	CARPET
ENSUITE	TILES
ENTRY	HYBRID
GARAGE	PLAIN CONCRETE
HALLWAY	HYBRID
KITCHEN	HYBRID
LAUNDRY	TILES
LIVING	HYBRID
LOUNGE	HYBRID
MEALS	HYBRID
PWD	TILES
WC	TILES
WIP	HYBRID
WIR	CARPET

**NOTE:**  
- TO ALL EXTERNAL FLOOR COVERINGS, REFER TO CONCRETE & LANDSCAPE PLAN (WD02 SHEET)

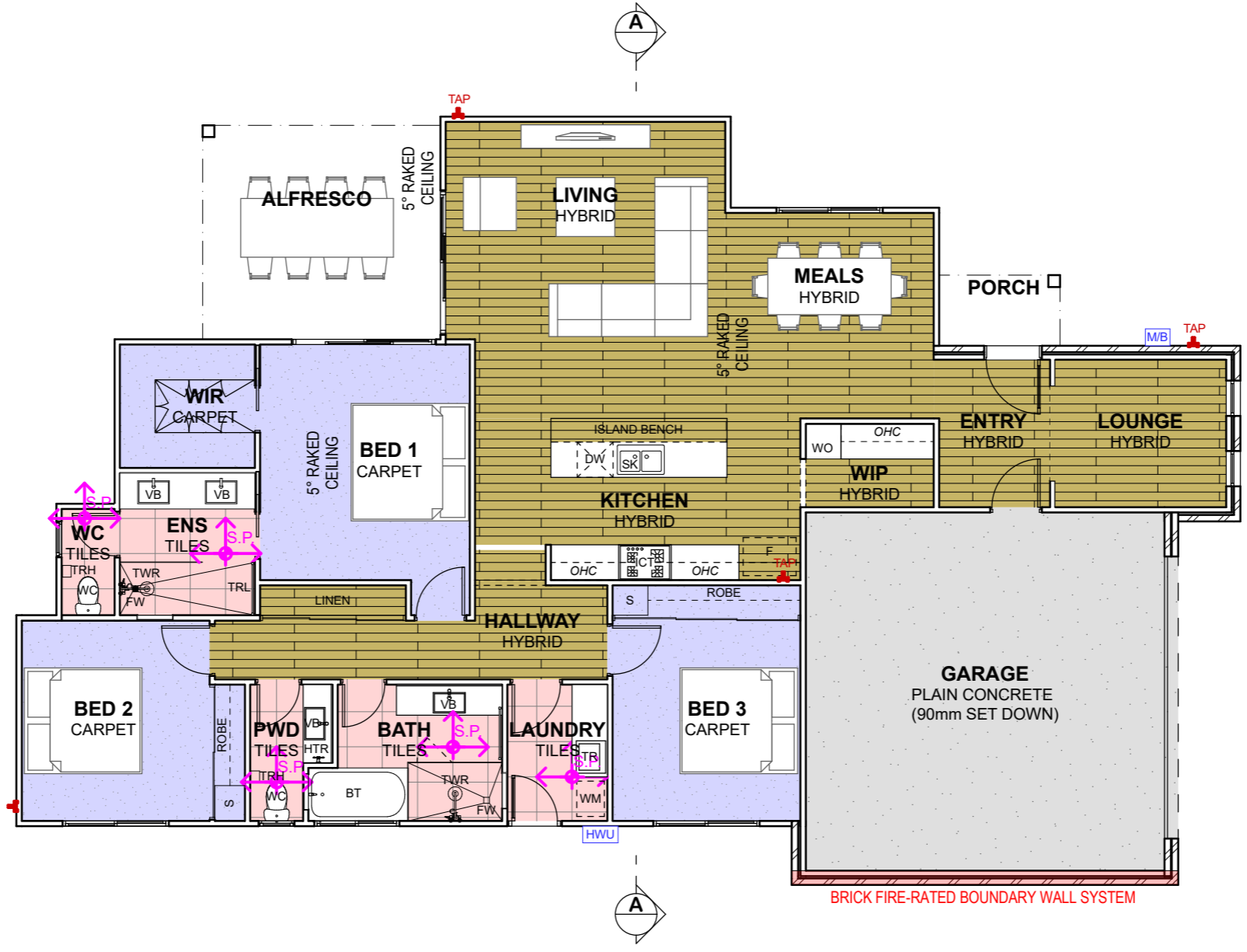


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**SALES STAGE**

- NOTES:**
- FLOATING TIMBER FLOOR
  - PLAIN CONCRETE
  - FLOOR TILES
  - CARPET
  - EXPOSED AGGREGATE

- ALL GROUTS TO BE CONFIRMED WITH THE TILER ON SITE.  
- ALL WC IN SKIRTING TILES NOT UNLESS OTHERWISE STATED IN CPS.

**WET AREA WALLS:**  
PROVIDE AN IMPERVIOUS SUBSTRATE AND SELECT SURFACE FINISH TO FLOORS WITHIN 1500MM OF AN UNCLOSED SHOWER AND SAME TO WALLS AT 1800MM ABOVE FLOORS AND 150MM ABOVE BATH, SINKS, BASIN AND TROUGH SPLASHBACKS AND THE LIKE. BCA PART 3.8.1



**NEW RESIDENCE**  
LOT 10 (14A) LOMANDRA COURT, YARRAWONGA, VIC 3730

SCALE  
1:100, 1:1.25 @ A3  
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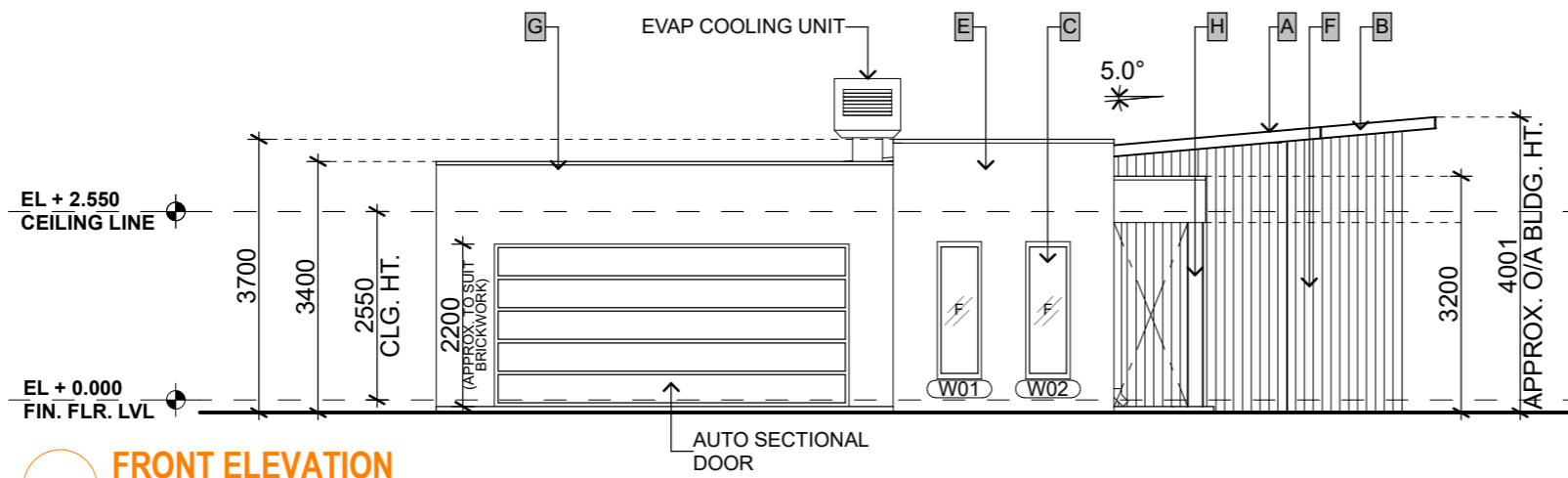
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**XX-XXXXX-WD05**

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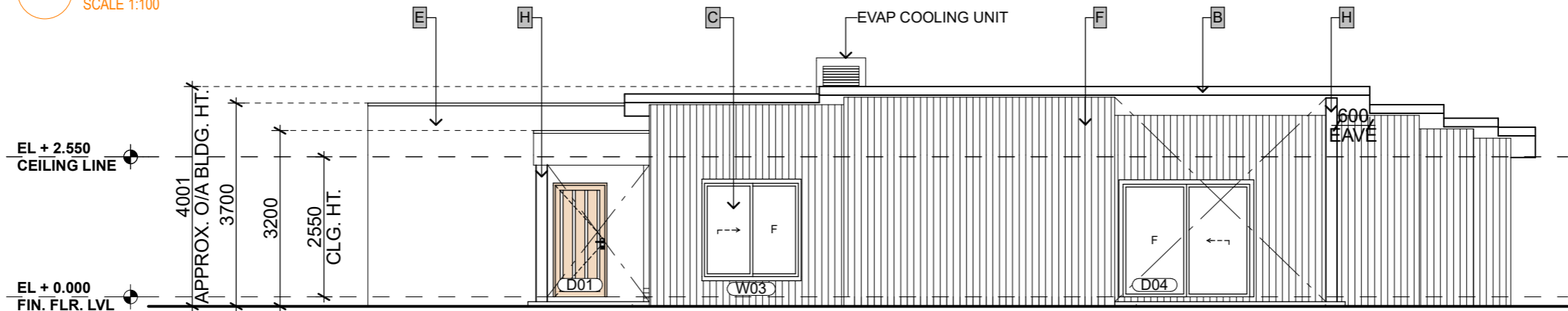
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**FLOOR COVERINGS PLAN**

**FLOOR COVERING PLAN**  
SCALE 1:100

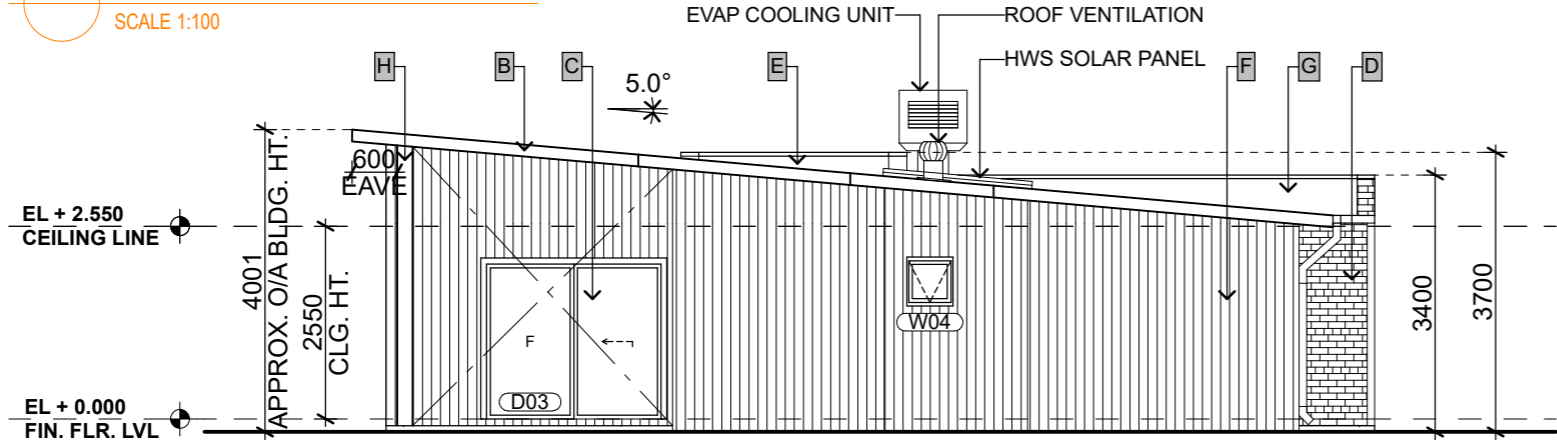
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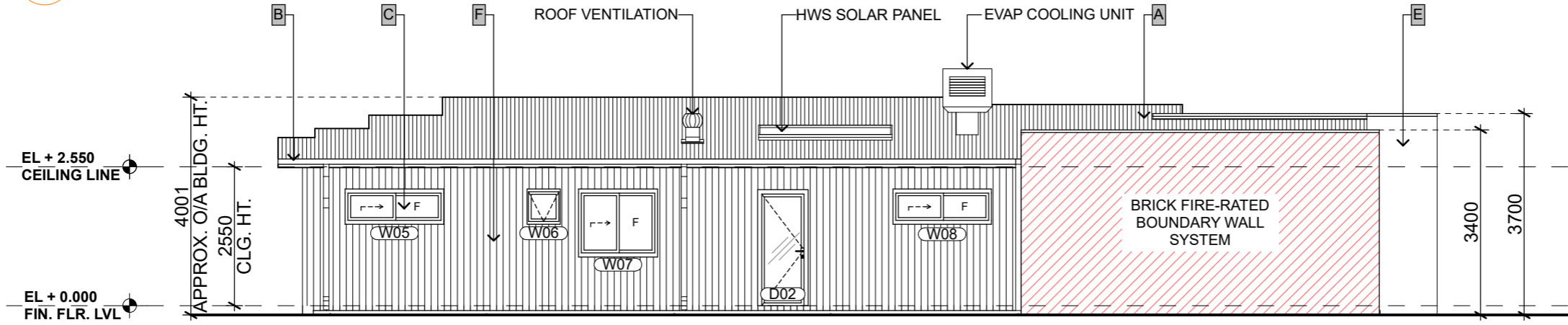
**FRONT ELEVATION**  
SCALE 1:100



**RIGHT SIDE ELEVATION**  
SCALE 1:100



**REAR ELEVATION**  
SCALE 1:100



**LEFT SIDE ELEVATION**  
SCALE 1:100



ISSUE DATE  
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**SALES STAGE**

- SCHEDULE OF FINISHES**
- A. COLORBOND ROOF - COLOUR AS SELECTED
  - B. COLORBOND FASCIA / GUTTER - COLOUR AS SELECTED
  - C. ALUMINUM P/C DOORS & WINDOWS - COLOUR AS SELECTED
  - D. BRICKS - AS SELECTED
  - E. RENDERED - COLOUR AS SELECTED
  - F. HARDIES FINE TEXTURE - COLOUR AS SELECTED
  - G. RENDERED - COLOUR AS SELECTED
  - H. STEEL POST - COLOUR AS SELECTED

**SOLAR PANEL / HWS PANEL / ROOF VENT / SKYLIGHT**  
LOCATIONS ARE APPROXIMATE ONLY. VERIFY SUPPLIERS FOR LOCATIONS & CLIENTS TO CONFIRM ITS LOCATIONS.

**NEW RESIDENCE**  
LOT 10 (14A) LOMANDRA COURT, YARRAWONGA, VIC 3730

SCALE  
1:100 @ A3  
CHK. BY: -      DWG. BY: KAS  
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DRAWING NO.  
**XX-XXXXX-WD06**

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**ELEVATIONS**

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DATE : \_\_\_\_\_



**WALL FRAMING:**  
 BUILDER TO USE:  
 90x35mm MGP10 STUDS AT 600mm CTS. MAXIMUM,  
 2/45x90mm MGP10 TOP PLATES TO LOAD BEARING WALLS, 35x90 MGP10 BOTTOM PLATE.  
 JAMB STUDS - REFER TO TABLE.  
 BRACE WALLS WITH APPROVED SHEET BRACES. ALL WALL FRAMING SHALL COMPLY WITH AS1684. NOGGINGS @ 1350mm CTS. MAX.

PINE ROOF TRUSSES @900CRS.  
 PINE ROOF TRUSS SYSTEM DESIGNED BY MANUFACTURER AND INSTALLED TO MANUFACTURER'S SPECIFICATION

**ROOF:**  
 COLORBOND ROOFING PITCHED AT 22° WITH METAL TOP HATS @ 900mm CTS. BUILDER TO REFER TO TRUSS FABRICATOR DETAILS FOR LAYOUT AND COMPUTATIONS.  
 ALL ROOF FRAMING SHALL COMPLY WITH AS1684, PRE-FAB TIMBER ROOF TRUSSES @ 900 CTS.

RFLAS SARKING TO UNDERSIDE OF ROOFING  
 DOUBLE SIDED RFL TO OUTER FACE OF EXTERNAL STUDS

DAMP PROOF COURSE TO EXTEND MIN 75MM ABOVE FLOOR LEVEL FIX TOP EDGE OF DPC TO STUDS WITH CLOUTS OR PROPRIETARY FASTENERS

ALL TIMBER FRAMING IN ACCORDANCE WITH AS1684 AND BCA PART 3.4 FRAMING TO BE 90x35 & 90x45 MGP10 STUDS @ 450CRS WITH NOGGINGS AT MAX 1350MM HIGH  
 F17 LINTELS OVER ALL OPENINGS IN FRAMEWORK WHERE REQUIRED FRAME TO BE BRACED WITH PROPRIETARY METAL STRAP BRACING AND SHEET BRACING WHERE REQUIRED TO BCA PART 3.4 FRAMING AND AS1684

ENSUITE AND BATHROOM EXHAUST FANS TO BE VENTED TO OUTSIDE IN ACCORDANCE WITH BCA PART 3.8.5.0

ARCHITRAVES, SKIRTINGS & DOORS AS SELECTED

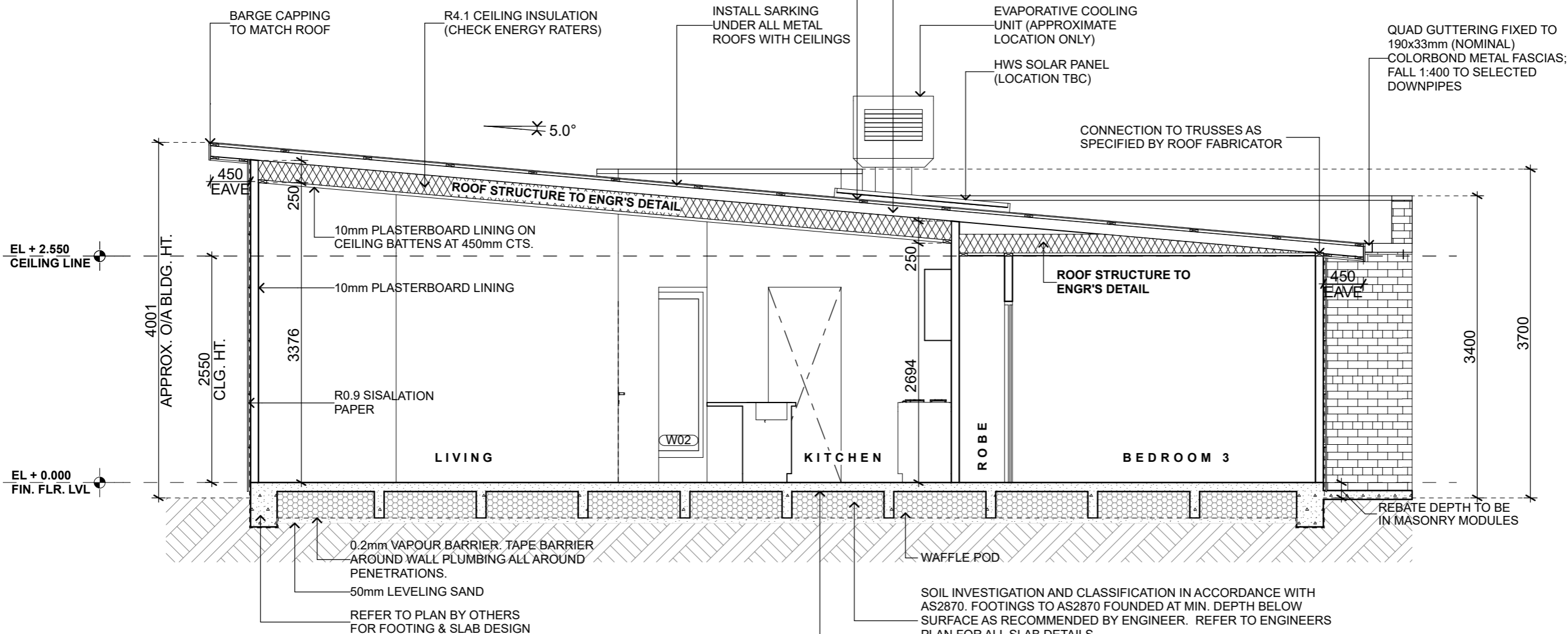
CSR GYPROCK 10MM THICK TO WALLS AND CEILINGS ALL FIXED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS CORNICES AS SELECTED BY CLIENT

CLAY BRICKS AS SELECTED WITH SELECTED MORTAR & JOINTING TYPE.  
 ALL BLOCKWORK IN ACCORDANCE WITH AS3700 AND BCA PART 3.3 MASONRY CONSTRUCTION PROPRIETARY WALL TIES IN BRICKWORK @ MAX 600CTRS IN EACH DIRECTION AND WITHIN 300MM OF ARTICULATION JOINTS. ARTICULATION JOINTS IN BRICKWORK TO BCA PART 3.3 & BCA REFER TO ENGINEERS SLAB PLAN FOR LOCATIONS

LITEWEIGHT CLADDING AS SELECTED

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**NOTE:**  
 PROVIDE A CONTINUOUS IMPERMEABLE BARRIER WITH THE SARKING / HOUSE WRAP / REFLECTIVE FOIL. PAY PARTICULAR ATTENTION TO:  
 1. TAPING ALL JOINS AND AROUND PENETRATIONS (SUCH AS PLUMBING SERVICES);  
 2. ENSURING THAT THE MATERIAL COVERS THE GAP BETWEEN STUDS AND DOOR & WINDOW FRAMES. IF FLASHING IS ATTACHED TO WINDOW FRAME, FLASHING SHOULD BE TAPED OVER SARKING / HOUSE WRAP / REFLECTED FOIL.

SOIL INVESTIGATION AND CLASSIFICATION IN ACCORDANCE WITH AS2870. FOOTINGS TO AS2870 FOUNDED AT MIN. DEPTH BELOW SURFACE AS RECOMMENDED BY ENGINEER. REFER TO ENGINEERS PLAN FOR ALL SLAB DETAILS  
 PROVIDE TERMITE PROOFING UNDER SLAB AND VERANDAH AND ANY OTHER CRITICAL AREAS RECOGNISED AS BEING SUSCEPTIBLE TO INFESTATION APPROVED TERMITE PROOFING METHOD TO BE CARRIED OUT BY CONTRACTOR IN ACCORDANCE WITH BCA AND AS 3660.

**SECTION**  
 SCALE 1:50

**SIGN HERE**  
 DATE : \_\_\_\_\_

**NEW RESIDENCE**  
 LOT 10 (14A) LOMANDRA COURT, YARRAWONGA, VIC 3730

SCALE  
 1:50 @ A3  
 CHK. BY: - DWG. BY: KAS  
 REG. NO.: DB-U 28382

DRAWING NO.  
**XX-XXXXX-WD07**

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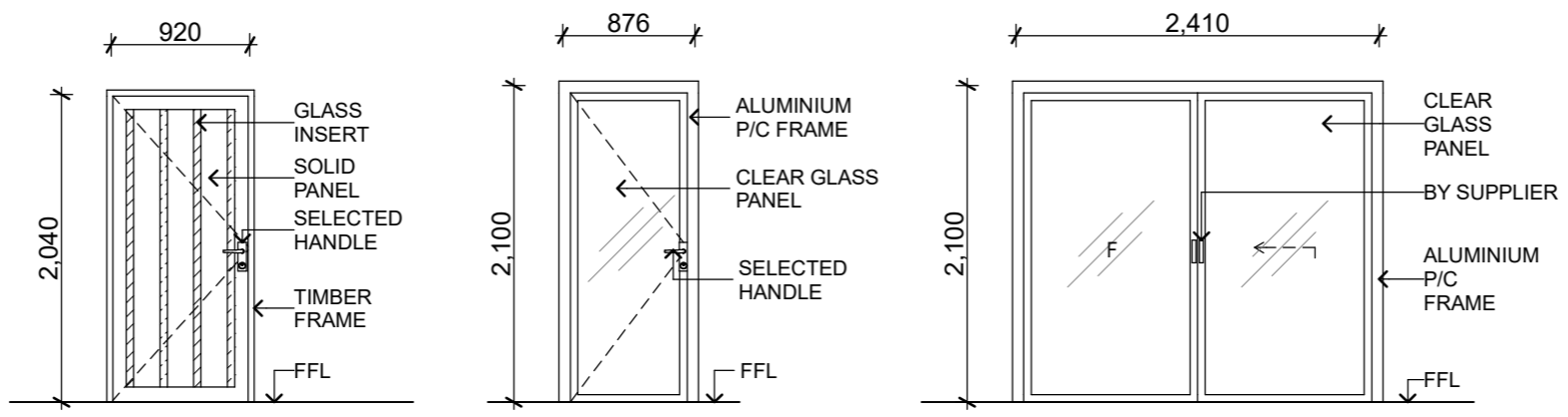
**SECTION**

DOOR SCHEDULE		
DOOR NO.	SIZE	TYPE
D01	920x2040	H
D02	876x2100	H
D03	2410x2100	A
D04	2410x2100	A
D05	820x2040	H
D06	720x2040	CS
D07	720x2040	H*
D08	720x2040	C
D09	820x2040	H
D10	720x2040	H*
D11	720x2040	H
D12	820x2040	H
D13	820x2040	H
D14	820x2040	H

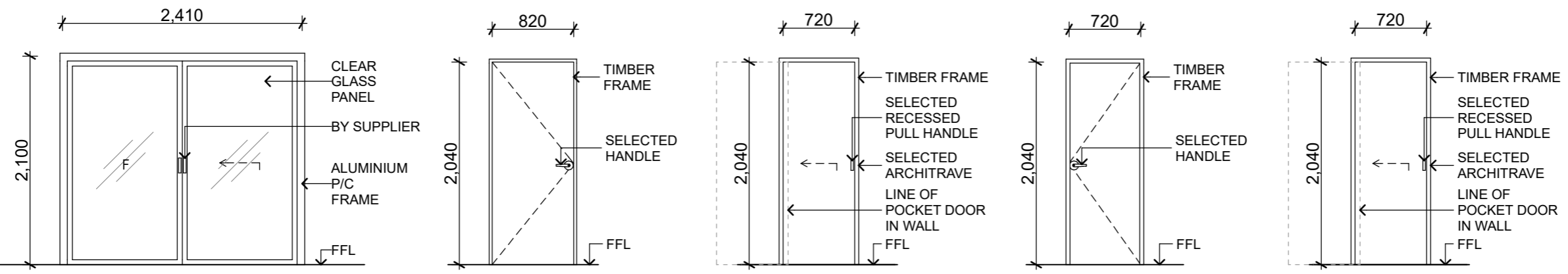
ENERGY RATERS STAMP

ISSUE DATE  
Revision 1 - 20/10/2023  
DRAWING STATUS  
**SALES STAGE**

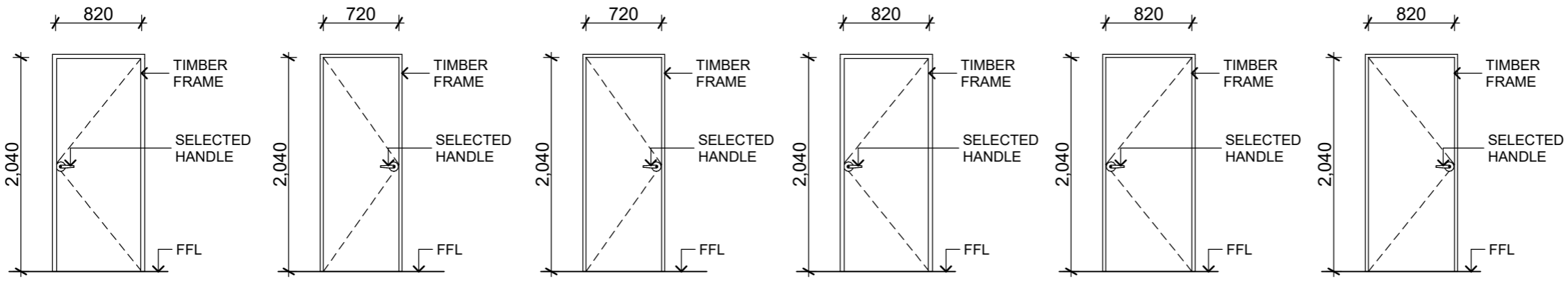
**NOTES:**  
H HINGED DOOR  
CS CAVITY SLIDER  
\* REMOVABLE HINGES  
A ALUMINIUM P/C GLAZED DOOR  
2H PAIR HINGED DOORS  
2CS PAIR CAVITY SLIDERS  
BD BARN DOOR  
BI BI-FOLD DOOR  
**WINDOWS & DOORS:**  
OBS Obscure Glazing  
DG Double Glazing  
CP Comfort Plus Glazing  
SG Sunergy Grey



D01 ENTRY TIMBER EXTERNAL SOLID PANEL HINGED DOOR  
D02 LAUNDRY (EXT) ALUMINIUM POWDER COATED W/ CLEAR GLASS PANEL HINGED DOOR  
D03 LIVING ALUMINIUM POWDER COATED SLIDING DOOR W/ FIXED PANEL ALUMINIUM SLIDING DOOR



D04 BEDROOM 1 (EXT) ALUMINIUM POWDER COATED SLIDING DOOR W/ FIXED PANEL ALUMINIUM SLIDING DOOR  
D05 GARAGE TIMBER INTERNAL HOLLOW CORE HINGED DOOR  
D06 WIR TIMBER INTERNAL HOLLOW CORE CAVITY SLIDING DOOR - FLUSH PULL  
D07 ENSUITE WC TIMBER INTERNAL HOLLOW CORE LIFT-OFF HINGED DOOR  
D08 ENSUITE TIMBER INTERNAL HOLLOW CORE CAVITY SLIDING DOOR - FLUSH PULL



D09 BEDROOM 2 TIMBER INTERNAL HOLLOW CORE HINGED DOOR  
D10 POWDER TIMBER INTERNAL HOLLOW CORE LIFT-OFF HINGED DOOR  
D11 BATHROOM TIMBER INTERNAL HOLLOW CORE HINGED DOOR  
D12 LAUNDRY TIMBER INTERNAL HOLLOW CORE HINGED DOOR  
D13 BEDROOM 3 TIMBER INTERNAL HOLLOW CORE HINGED DOOR  
D14 BEDROOM 1 TIMBER INTERNAL HOLLOW CORE HINGED DOOR

THESE DRAWINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY. REFER TO SPECS FOR THE ACTUAL DOOR DESIGN & HANDLES

**NEW RESIDENCE**  
LOT 10 (14A) LOMANDRA COURT, YARRAWONGA, VIC 3730

SCALE 1:1 @ A3  
CHK. BY: - DWG. BY: KAS  
REG. NO.: DB-U 28382

DRAWING NO. XX-XXXXX-WD08

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**DOOR SCHEDULE**

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DATE : \_\_\_\_\_

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ISSUE DATE  
Revision 1 - 20/10/2023  
DRAWING STATUS  
**SALES STAGE**

**NOTES:**  
- CONFIRM ALL SIZES PRIOR TO ORDERING AS PER SITE MEASUREMENTS

**WINDOWS & DOORS:**  
OBS    Obscure Glazing  
DG     Double Glazing  
CP     Comfort Plus Glazing  
SG     Sunergy Grey

THESE DRAWINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY. VERIFY SUPPLIER FOR THE STANDARD WINDOW DESIGN, UNLESS CLIENT(S) WANTED A NON-STANDARD WINDOW SIZE.

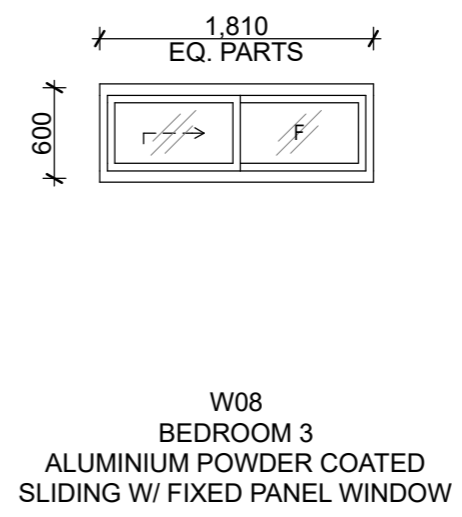
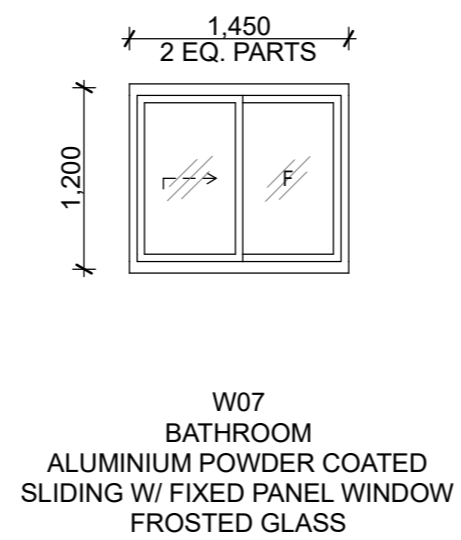
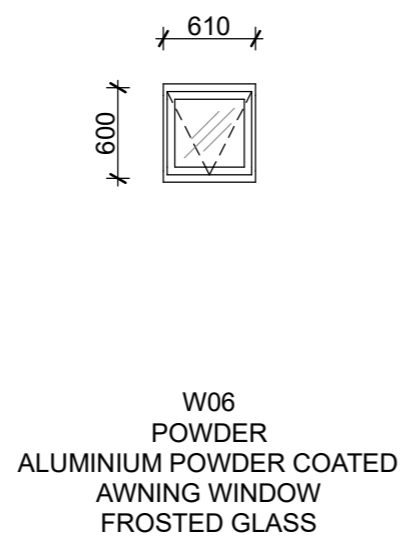
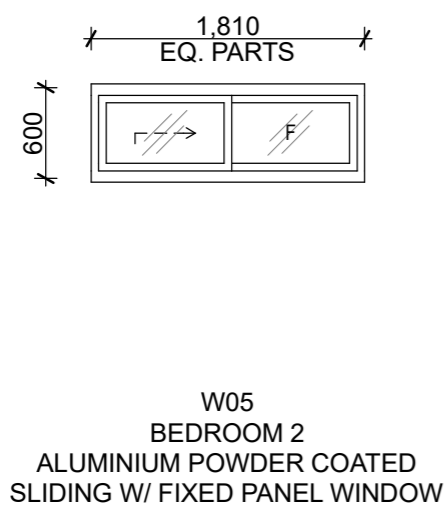
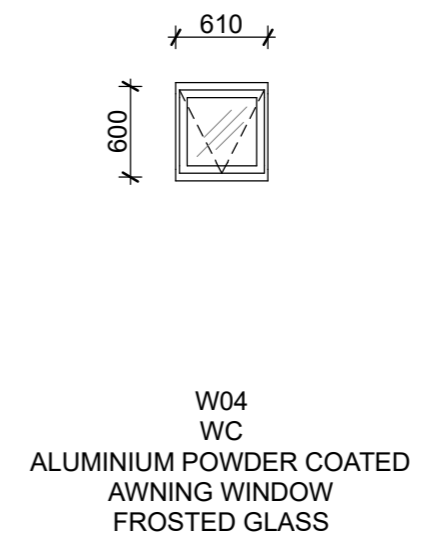
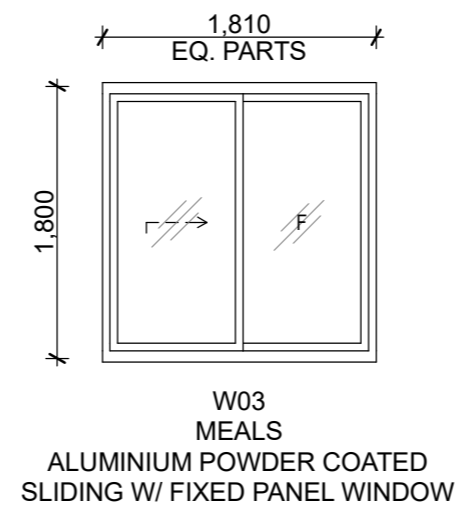
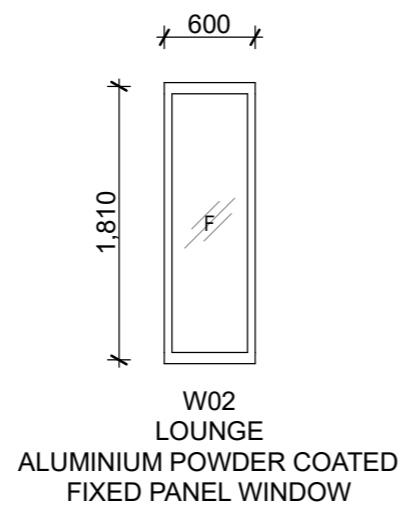
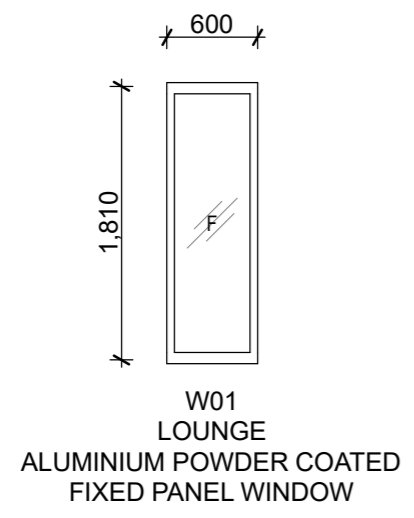
**NEW RESIDENCE**  
LOT 10 (14A) LOMANDRA COURT, YARRAWONGA, VIC 3730

SCALE  
1:1 @ A3  
CHK. BY:                      DWG. BY:  
-                                      KAS  
REG. NO.:  
DB-U 28382

DRAWING NO.  
**XX-XXXXX-WD09**

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www.lekeal.com.au  
**WINDOW SCHEDULE**



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DATE : \_\_\_\_\_

**ELECTRICAL NOTE:**

Internal power outlets to be located 300mm above the floor (or bench top) unless it serves a specific appliance such as a refrigerator or dishwasher where the position shall be appropriate for the equipment.

External & garage power outlets to be located 1000mm above floor. Power for garage doors to be located next to garage door motor. Powerpoints & light control switches shall be located next to garage door motor.

Light control points shall be located 1000mm from the floor.

All light fittings (except where noted otherwise) shall be supplied and installed by the builder.

TV aerial to be supplied and installed by owner after completion of contract.

Provide power to all appliances that require power such as heaters, coolers and stoves.

All work to comply with AS3000 and the Supply Authorities requirements.  
Telephone connection fees by owner.  
Meter box to be metal.

Electrician to liaise with Client to check if NBN & associated data point connection is required to future proof house.

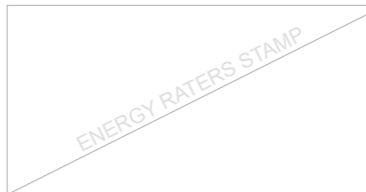
Smoke detectors to be interconnected as per regulation 3.7.2.2 (d) of the NCC.

Flow rates & discharge of exhaust systems to be in accordance with NCC 2019 Volume Two, Clause 3.8.7.3.

Building insulation abutting or is within 100mm horizontally of the luminaire must meet the following requirements:  
Be of a type that can maintain its dimensions and structural integrity when exposed to a maximum surface temperature of the class of the luminaire, being 90°C;  
Be of a type that can withstand a 30 second needle flame test carried out in accordance with AS/NZS 60695.11.5 with a flame applied to all surfaces of the sample. Insulation types which should not be used with this fitting are glass wool (Pink Batts) & polyester.

**IMPORTANT NOTE:** Builder must NOT install loose fill insulation, such as wool or macerated paper.  
Fixture Driver or Control Gear must be mounted above any insulation covering the fixture.

**POOL & PUMP SHED:**  
- PROVISION OF POWER & PLUMBING  
- BACKWASH & WATER LEVELLER  
CONNECTION TO BE INCLUDED



ISSUE DATE  
Revision 1 - 20/10/2023  
DRAWING STATUS  
**SALES STAGE**

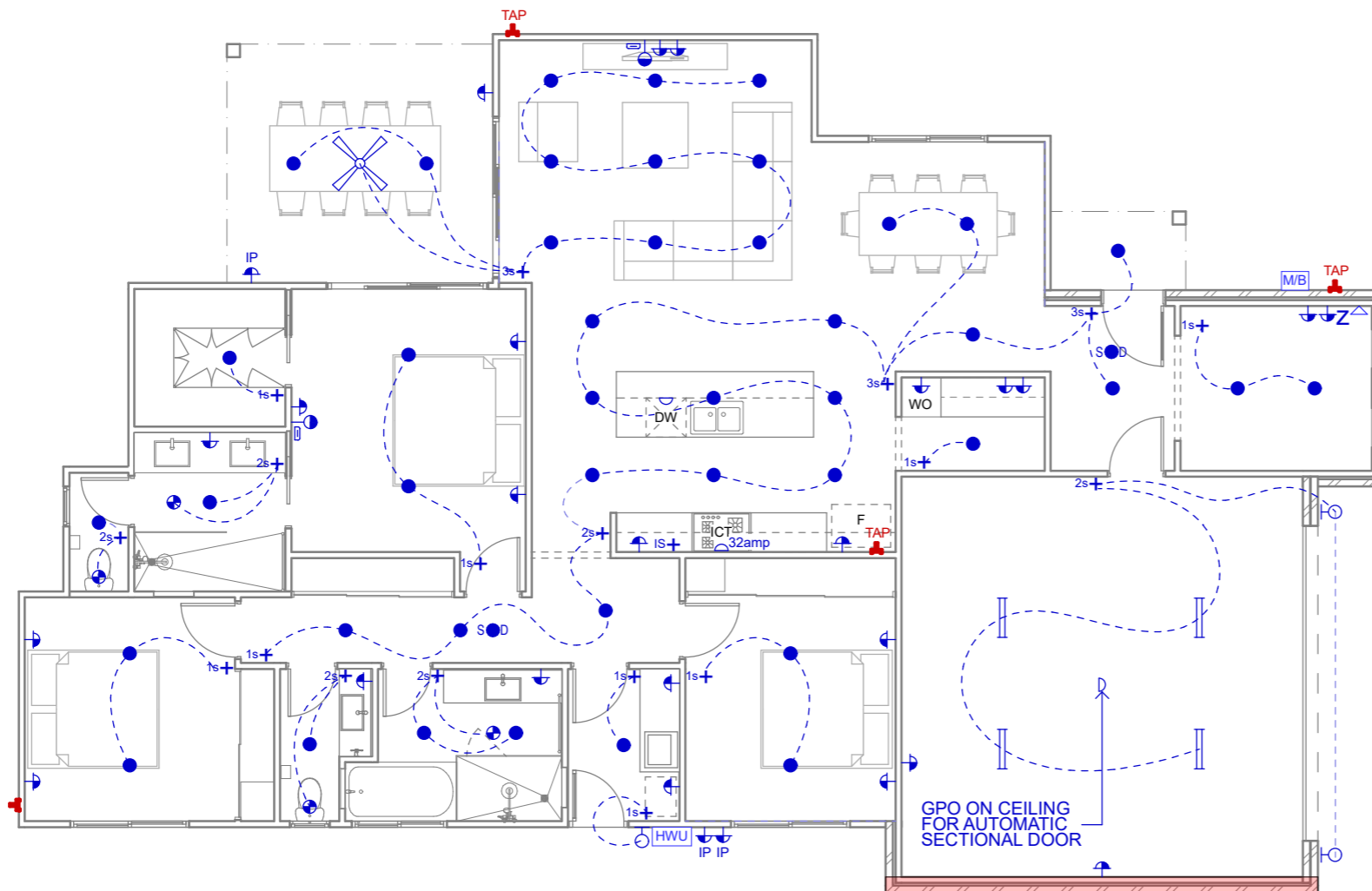


**LEGEND**

POWER		QTY.
	SINGLE GPO	1
	SINGLE GPO - 32AMP	1
	DOUBLE GPO	23
	SINGLE GPO IP RATED	-
	DOUBLE GPO IP RATED	3
	TV POINT	2
	METER BOX	1
	TELEPHONE POINT	1
	HOT WATER UNIT	1
	USB GPO	-
	FLOOR MOUNTED DOUBLE GPO	-
	DATA POINT	1
	TV AERIAL ANTENNA	1
	HDMI	2

LIGHTING		QTY.
	1-GANG SWITCH	9
	2-GANG SWITCH	6
	3-GANG SWITCH	3
	DIMMER SWITCH	-
	ISOLATION SWITCH	1
	TWO-WAY LIGHT SWITCHING	-
	THREE-WAY LIGHT SWITCHING	-
	ELECTRICAL WIRING	-
	WALL MOUNT LIGHT	3
	DOWNLIGHTS - LED	43
	DOWNLIGHT W/ SENSOR	-
	FLUORESCENT LIGHT	4
	EXHAUST FAN	4
	IXL TASTIC	-
	FAN ONLY	1
	FAN / LIGHT	-
	SMOKE DETECTOR	2
	LED STRIP LIGHT	-
	PENDANT FEATURE LIGHT	-
	SPOTLIGHT W/ SENSOR	-
	UP-DOWN WALL LAMP LIGHT	-
	DOUBLE ENDED SPOTLIGHT	-
	CHANDELIER	-
	ILLUME	-

OTHERS		QTY.
	GAS POINT	-
	TAP	4



GPO ON CEILING FOR AUTOMATIC SECTIONAL DOOR

ARTIFICIAL LIGHTING TO COMPLY WITH N.C.C.3.12.5.5			
WATT RATIO	ZONE	AREA	MAX. WATTS
HOUSE AREA 5W/m <sup>2</sup>	LIVING	153.83m <sup>2</sup>	769.15 W
COVERED AREA 4W/m <sup>2</sup>	PORCH	2.98m <sup>2</sup>	11.92 W
	ALFRESCO	15.92m <sup>2</sup>	63.68 W
GARAGE AREA 3W/m <sup>2</sup>	GARAGE	40.40m <sup>2</sup>	121.20 W
TOTAL		212.89m <sup>2</sup>	965.95 W

**NEW RESIDENCE**  
LOT 10 (14A) LOMANDRA COURT, YARRAWONGA, VIC 3730

SCALE  
1:100 @ A3  
CHK. BY: DWG. BY:  
KAS KAS  
REG. NO.:  
DB-U 28382

DRAWING NO.  
**XX-XXXXX-WD10**

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**ELECTRICAL PLAN**

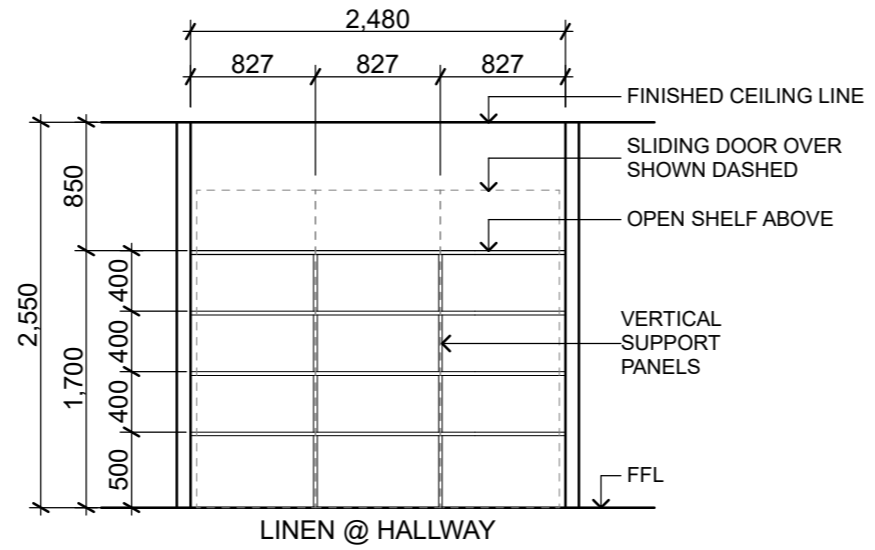
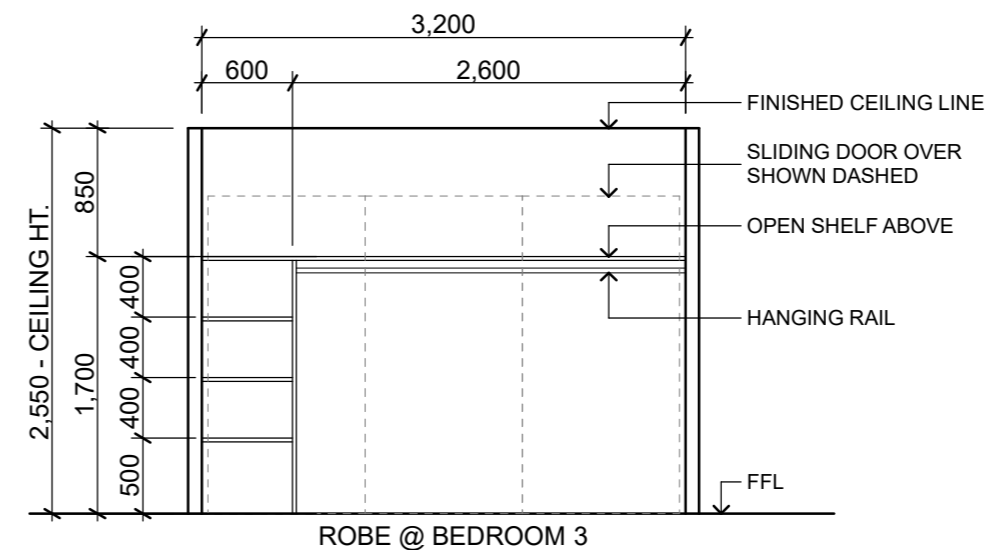
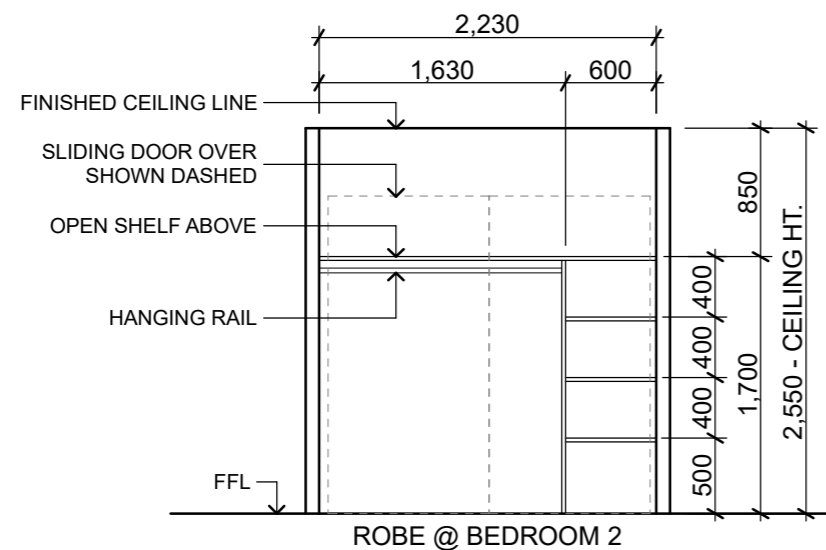
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DATE : \_\_\_\_\_

ENERGY RATERS STAMP

ISSUE DATE  
Revision 1 - 20/10/2023  
DRAWING STATUS  
**SALES STAGE**

**NOTES:**  
- SUBJECT TO CHANGE AFTER ON SITE MEASURE BY OUR SHELVING & ROBE CONTRACTOR



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**NEW RESIDENCE**  
LOT 10 (14A) LOMANDRA COURT, YARRAWONGA, VIC 3730

SCALE  
1:50 @ A3  
CHK. BY: - DWG. BY: KAS  
REG. NO.: DB-U 28382

DRAWING NO.  
**XX-XXXXX-WD11**

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**SHELVING DETAILS**

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DATE : \_\_\_\_\_

# GENERAL NOTES

ENERGY RATERS STAMP

ISSUE DATE  
Revision 1 - 20/10/2023  
DRAWING STATUS  
**SALES STAGE**

## ENERGY RATING NOTES

### New Work

The Builder shall refer to the Energy Rating Report for details.

All glazing shall be as per the Energy Rating Report.  
All windows shall be fitted with the seals on all 4 sides.

All exhaust fans shall be self closing.  
All external swing doors & internal doors in house / garage walls shall be fitted with Raven compressible rubber door seals at the top and sides. At the bottom of all swing doors, install a Raven flap seal.  
All roof lights to be sealed with a weatherproof seal.

Refer to the Section on the Plans for details of wall insulation and ceiling insulation.

For Energy rating purposes, we have assumed a 225mm / 300mm deep minimum waffle pod will be used. If the slab is a raft slab then the Energy rating will need to be modified.

## OWNERS NOTES

Owners should be maintain their buildings in accordance with the CSIROs Home Owners Maintenance manual.

Clay soils will swell, and shrink with variations in moisture content. This movement may cause damage to the building.  
In order to minimise the damage, we recommend the following precautions be taken -

- 1) Provide adequate site drainage to ensure water will not pond against or near the building.
- 2) Grade the site within 2 meters of the building, away from the building, to ensure that no water ponds near the building.
- 3) Maintain sewage and stormwater systems to ensure no leakage occur. If they occur, repair them promptly.
- 4) Trees and shrubs should not be planted or allowed to exist, closer than 0.75 times their mature height.

Avoid establishing garden beds next to the building. Gardens and lawns should be watered adequately but not excessively. Uniform consistent watering can be important to prevent damage to the foundations during dry spells or droughts.



## BUILDERS NOTES

### STANDARDS

The Builder shall ensure the building complies with the following Regulations & Standards  
Building Code of Australia  
AS 1562 Roofing  
AS 1288 Glazing Code  
AS 2870 Slabs and Footings  
AS 3500 Plumbing Code  
AS 3660 Termite Code  
AS 3000 Electrical  
AS 1684 Timber Framing  
AS 3730 Waterproofing Code  
and all other standards nominated in the NCC

### SITE LEVELS

The Builder shall ensure the building is built at a minimum of 450mm above any adjoining ground level.  
The Builder shall grade the soil away from the building at a rate of 50mm for every meter for at least 2 meters to ensure any surface water will not pond against the building.  
If there is a Flood Level nominated on the site, the building shall be built to the minimum floor level nominated by the Building Surveyor.

### MASONRY

Incorporate Control Joints (or full height openings) in all masonry walls at a maximum of 4.5 meters cts. Locate additional joints in masonry directly over junctions in footings which are different types, eg. at House / Garage

### TERMITE PROTECTION

Treat building for termites as per AS 3660.1. Use termite resistant T2 framing (walls, trusses & all primary building elements) throughout proposed works.  
Install Homeguard Blue termite collars around all plumbing penetrations thru slab.

### TIMBER EXPOSED TO WEATHER

All timber exposed to weather, but not in ground, shall be to H3 classification.  
All timber in ground to be H5 classification.

### GLAZING - BATHROOMS, ENSUITES & SPA ROOMS

All windows within 2000mm of the floor shall have Safety glazing as per AS 1288 - 2006 SEC 5-5.8

### FLOOR TILES

Minor movement shall inevitably occur in most floors. In order to minimise any damage to floor tiles as a result of floor cracking / movement a flexible adhesive shall be used.

### DOORS

Door sizes shall be as per floorplan unless noted otherwise.  
Bathroom, Ensuites & Toilets shall have door sizes as per floor plan.  
Toilet cubicle doors shall be fitted with removable hinges.

### SMOKE DETECTORS

Smoke detectors are denoted S D on the plan. These shall be installed as per AS 3786. Where more than 1 detector is installed, they shall be interconnected electrically. Connect to main electricity supply.

## BUILDERS NOTES (cont'd)

### ASBESTOS

If any possible Asbestos material are found, they should be checked and tested. If confirmed, it must be removed by a licensed contractor in accordance with Worksafe guidelines.

### DRAINS

Piping trenches running parallel with the Building should be located at an offset from the footing equal to the depth.

### STAIR DETAILS (if required)

Riser Height - Min. 115mm, Max. 190mm  
Tread Going - Min. 250mm, Max. 355mm  
Minimum Vertical Clearance - 2000mm  
Install 1x handrail 900mm above nosing for dwellings

### BALUSTRADES

(applicable for landings, Balconies & Verandahs 1000mm minimum above the ground level)

### HEIGHT

865mm minimum above stair tread nosings  
1000mm maximum above finished floor level

### OPENING

Constructed so a 125mm sphere cannot pass through.

## NOTES FOR ENGINEERS

The Engineer engaged to carry out the design of the slabs and footings shall design the system in accordance with AS 2870, AS 3600, NCC, the Soil Test and all other site conditions such as cut/fill which may exist on the site.

The Engineer shall take into consideration trees and underground pipes which exist or may exist in the future.  
The Engineer shall collect information on all the piping systems, sewer mains, plumbers sewer drainage pipes, stormwater pipes, etc., slab heating (electric / hydronic if applicable) and design his slab / footings accordingly.  
The Engineer shall liaise directly with the Sewer Authority, plumber, client and builder to obtain the above information.

The Engineer engaged to carry out the design of the slabs / subfloor shall take full responsibility for the above.  
Lekeal Pty. Ltd does not accept any responsibility for the Engineer's work.

### DESIGN WORK BY ENGINEER

- Soil Test
- Footing Design
- Misc. Steel Beams shown on Plans
- Column to support steel beams
- Other items needing Engineering Design
- Upper Floor floor joist (if applicable)
- Bracing details

### THIS SITE - SOME OF THE ISSUES

- Engineer to note
- Sewer mains and plumbers sewer drainage pipes near footings
  - Isolated patches of fill
  - Extensive fill on site
  - Cut / fill site
  - Large tree stump holes under building
  - Sloping Site

### BRACING PLAN

Bracing Plan by Engineer if required

These are only some of the issues to be considered in the footing design. This is not a complete list of issues. The Engineer shall investigate all the issues which may effect the design and ensure that the design is appropriate and structurally sound.

The Engineers shall forward a copy of Plans, Soil Tests, Computations, etc. to Lekeal Pty. Ltd.

## NEW RESIDENCE

LOT 10 (14A) LOMANDRA COURT, YARRAWONGA, VIC 3730

SCALE  
@ A3

CHK. BY: DWG. BY:  
- KAS

REG. NO.:  
DB-U 28382

DRAWING NO.  
**XX-XXXXX-WD12**

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**GENERAL NOTES**

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# BUILDING SPECIFICATIONS - GENERAL

REFER TO BUILDERS SPECIFICATION FOR CONTRACT DETAILS AND INCLUSIONS



ISSUE DATE  
Revision 1 - 20/10/2023  
DRAWING STATUS  
**SALES STAGE**

## GENERAL CLAUSES

All work shall comply with the Buildign Code of Australia, State Government Regulations and any relevant local Government by-laws applying to the work. All work shall compy to the relevant standards for that particular trade.

**Owner** - Shall mean the owner of the building, proprietor or client. The word builder shall also mean contractor.

**Making Good** - The builder shall be responsible for any damage to adjoining roads, pavement or properties. The builder shall make good any damage at his cost.

**Temporary services** - The buidler shall provide necessary temporary services such as electricity, water and sanitary accomodation.

**Drawings** - The builder shall keep on site, in good order 1x set of plans and specifications.

**Materials** - All materials shall be new and comply with the relevant sections of the Australian Standards.

**Notices and Fees** - The builder shall pay for all fees and notices (except planning permit fees) for the work to be done.

**Clean Up** - The builder shall be responsible for cleaning up the building site of any excess soil, unused materials, etc. prior to the handover.

**Site** - The owner shall be responsible for clearly identifying the site, with a licensed surveyor if necessary. The builder shall locate the house within the identified site as per plans.

**Allowances** - The builder shall allow in his price, the prime cost allowances nominated. Where items are 'Supply only' the builder shall allow in the contract sum for the labour cost to install the components. Should the expenditure exceed the allowance, the owner shall pay the builder the extra amount plus 10% of the extra amount. Should the expenditure be less than the allowance, the builder shall credit the owner the difference.

## EXCAVATOR

The owner at his expense, shall clear the site of any obstructions, likely to interfere with the building works, prior to the commencement of the building.

**Excavation** - The builder shall excavate fo footings, etc. as per the Engineer's plans, soil report and Architectural plans. The builder shall excavate for stowm water and sewer pipes required to service the building. All excavations for piped shall be back filled with approved material.

**Surplus Materials** - The builder shall remove all surplus material from the site at his cost. The builder may leave surplus material on the site if directed by the owner.

**Inspections** - The builder shall organise appropriate inspections of the founding material below the footings by the building surveyor or engineer.

## CONCRETOR

**Inspections** - The builder shall organise appropriate inspections of the slab reinforcing, prior to pouring concrete, by the building Survey or Engineer.

**Concrete** - All concrete shall have minimum strength of 25Mpa at 28 Days. It shall have a maximum slump of 80mm.

**Reinforcement** - All reinforcement shall be in accordance with Australian Standards 1302, 1303, 1304 & 1480. All slab mesh shall have 25 cover to the top.

**Standard** - All work shall be carried out to ensure compliance with Australian Standard 2870 and to the Engineer's drawings.

**Footings and verandah posts** - See Engineers Plan

**Finish** - The finish shall be steel trowelled, approriate for the final finish.

**Verandah and Footpaths** - Unless noted otherwise on the plans, use 100mm thick slabs with SL72 mesh in the top for non-filled areas. See engineers drawings for slabs overfill. Install tooled control joints at 1.2 meter cts. for the length of the slab. Fall verandahs and footpaths to create cross fall.

**Garage slab** - See plans

**Moisture barrier** - All slabs shall be protected from moisture penetration from below with a 0.2mm plastic vapour barrier. Lap and tape all vapour barriers. Tape barrier around plumbing penetrations to eliminate any chance of moisture penetration.

## MASONRY

**Set-out** - All masonry shall be set out with a gauge rod to enure every course is horizontal. The masonry shall be laid with a stretcher bond. All perpend in every 2nd course will line up vertically.

**Standard** - All masonry shall comply with Australian Standard 3700.

**Sills** - All sills will be brick on edge, set 30° to the horizontal and shall overhang the wall by 20mm.

**Mortar** - The colour and type of the mortar shall be nominated by the owner.

**Lintels** - All steel Lintels supporting Masonry shall be galvanised in accordance with Australian Standard 3700. Lintels shall have an end bearing of 200mm.

**Door sills** - All door sills shall be brcik on edge.

**Damp proof courses** - All masonry shall have an approved damp proof course to prevent the movement of damp vertically up brickwork. The builder may use an approved chemical damp proof course mixed and used as per the manufacturer's recommendations or embossed opaque plythene film a minimum of 0.25mm thick.

**Wall ties** - All wall ties shall be installed as per Australian Standard 2699 - See plans.

**Cleaning** - Point up all flashings, pipe penetrations, etc. Clean brickwork with spirits of slats diluted to a maximum of 1 in 10. Wash down Masonry with water after cleaning.

## CARPENTRY

All timber used shall comply with Australian Standards 1684 and 1720.

**Frames** - See plans for stud and plate sizes. Install studs at all jambs as per Australian Standard 1684. Secure bottom plate to slab with concrete nails at 600 cts. All walls shall be erected plumb, square and true in line. All studs shall be straightened, if require prior to lining. See Australian Standards 1684 for sheet bracing or metal angle wall braces.

**Shower recess** - Check wall to suit shower base nominated on plans.

**Bath** - Check wall to suit bath. Make water tight.

**Eave and verandah lining** - Where shown on the drawings, install 4.5mm cement sheet lining, joined with PVC cover straps. Fix sheets to 90x35mm MGP 10 pine at 450mm cts. or as per plans. All tiled roofs to have lined verandahs. All eaves are to be lined.

**Roof trusses** - Supply and install prefabricated roof trusses as per manufacturer's design. Supply and install tie downs, girder truss, connector plates strictly as per manufacturer's specifications.

**Architraves and skirtings** - To be selected by owner. Supply and install a skirting board at all floor / wall junctions. Supply and install an architrave around every door and window. Neatly mitre achitrave's at corner.

**Door frames** - Supply and install one ex 150x38mm H.W. or meranto solid door frame around the perimeter of every external door. Door stops to be 50x10mm (nominal). Internally supply and install a 110x25 H.W. door frame with a 30x10 door stop. Secure frames to studs. Fix frames level and true.

**Cavity doors** - Supply and install built-in robes where shown on plan. Install 1x Melamine shelf 1700mm from floor and 1x chrome hanging rail suspended from shelf for each robe. At one side of robe supply and install 600mm wide adjustable shelving. Supply and install Melamine shelves normally spaced at 400cts. Line the inside of robes with plasterboard as per remainder of house. Paint inside of cupboards. Fix door jambs to perimeter of door openings to robes together with architraves mitred at corners.

## TIMBER EXPOSED TO WEATHER

All timber exposed to weather, but not in ground, shall be to H3 classification.

All timber in ground to be H5 classification.

**Linen press** - Supply and install linen press where shown on plans. Install melamine shelves at 400mm cts. (nominal)

**Broom cupboard** - Supply and isntall a broom cupboard with 1x melamine shelf 1700mm from floor.

**Joiner** - Supply and install kitchen cupboards and other joinery wher shown on plan. Finishes as per plans. Install a 50mm deep x 100mm high kick recess at base. Joinery to be manufactured by an approved cabinet maker. Install a bulkhead over overhead cupboard. See plans for number of drawers. In top cutlery drawer install a plastic cutlery tray. All cupboard doors to have concealed adjustable hinges.

Vanity Units - unless noted otherwise on plans, all vanity units to be fabricated by a joiner.

## ROOFING

The builder shall supply and install roofing as per plans in accordance with the relevant Australian Standard. All ridge & hip tiles and valley gutters shall match the roof colour. Where sheet roofing is nominated on the plans, the roofing shall be installed strictly as per the manufacturer's recommendations. All sheet roofing to be Custom Orb unless noted otherwise, in one length.

Water Tight - It is responsibility of the builder to ensure the building is completely water tight.

Gutters - Supply and install gutters as per plan. Fall gutters 1:400 to downpipes. All gutter joins to be sealed. Install downpipes to pops from gutters. Attached gutters to walls at 900 cts. with straps fixed to wall. All flashings shall be either lead flashings or 0.6mm metal.

## PLUMBING

All plumbing to be carried out by the licesed plumber in accordance with AS 3500 and the relevant plumbing regualtions.

Water supply shall be extended from the front of the site of the house. If a tapping is required from the mains, it shall be done at the owners expense. The builder shall assume the point of supply for water is within 15meter from the house. If it is greater than 15meters, the owner shall bear the additional cost. For houses without access to a water main the builder shall allow for the 15meter of line as above. The costs of pumps and tanks, etc. unless noted otherwise, shall be borne by the owner. Install a stop cock to enable the water supply to the house to be controlled. Garden Taps - The builder shall allow for 4x garden taps for the house, which will be attached to the house unless noted otherwise. 2x tap will be at the front and 2x will be positioned at the rear of the house. The owner shall approve the exact positions prior to installation.

Hot Water Service - If electric hot water services is installed, the builder shall install a 315 litre Thermann or approved similar. Where a natural gas hot water service is installed, the builder shall install a 26L Thermann continuous flow / Rinnai unit or simliar approved. Where a solar hot water service is installed, the builder shall install a 315 Thermann / 270 L or 320 L Rinnai solar gas boosted unit or approved similar. Install a HWS strictly as per manufacturer's recommendations. All hot water services shall be mains pressure units.

Taps - To be nominated by owner  
Sanitary Plumbing - All sewerage work shall be carried out by a registered plumber approved by the local authority with control over the work. Any fees and charges associated with the work shall be paid for by the builder. In areas which are not sewerred, install a septic system to the approval of the local authority which has control over the work. See Inclusions Sheet  
Drainage - The plumber shall install stormwater pipes to connect to all the downpipes and discharge point approved by the local authority having control over drainage matters. All pipes shall be 90ø PVC falling in 1 in 400 meters minimum to the point of discharge. Provide a minimum of 200mm cover at high end. Seal all pipes with appropriate glue.

Sloping Sites - On all sites on which the land falls to the building, the builder shall install agricultural pipes embedded in 12mm crushed rock , & earth surface drains which ensure surface water & sub-surface water will not pond against or near the building.

**Gas Piping** - All gas pipes and fittings shall be installed as per the Authorities regulations. with control over the works requirements. The work shall be carried out by a registered gas fitter. The builder shall extend the gas line from the appliances nominated as gas appliances (See Inclusions Sheet), to the source of supply. All gas pipes shall be appropriately sized to suit the requirements of the appliances being served, and the requirements of the gas regulations.

## ELECTRICAL

All work shall be carried out by a registered electrician in accordance AS 3000 & with the authority with jurisdiction over the work. The electrician shall give appropriate notices, pay fees and obtain any required inspections of the work, prior to handover of the building.

Meters - The builder shall co-ordinate with the supply authority to ensure that a waterproof cabinet, by builder, is installed at an appropriate location for the installation of the meters.

Wiring - Wire to all light fittings, power outlets and appliances requiring direct connections. Provide provision to switchboard. All wiring shall be concealed.

Consumer Mains - Supply and install a mains, from the point of supply from the electricity supplier to the building. At the tender stage the builder shall determine the type of mains allowed-either underground or overhead and allow this in his tender price.

**Light Control Points** - Locate light switches 1000 from floor.

**GPO's** - Locate GPO's 300 from floor or 150 from the bench tops.

**TV Outlets** - Install TV points as per plan and extend line into ceiling space with 7 meters of spare line provided for connection to aerial.

Aerial is not in contract.

## PLASTERER

**Plaster** - Supply and install flush set plasterboard to all walls and ceilings throughout the entire building unless noted otherwise on the plans. To the wet areas use water resistant plasterboard. At all corners install a metal backing angle. See plans for plaster thickness. All plasterboard shall be installed strictly in accordance with the manufacturers recommendations.

**Cornices** - To be selected by owner.

## TILING

**Extent** - Extent of wall tiling to be confirmed by owner. See Plans for extent of floor tiles.

150 min high skirting tiling to wet ares. See plan for extent of floor tiles.

**Adhesives** - The builder shall use adhesives in accordance with the manufacturer's recommendations. Use flexible adhesives for floor tiles.

**Tiles** - To be selected by client. Grout colours to be nominated by owner.

## PAINTING

**Extent** - Paint all fascias, downpipes, verandah posts, eaves lining, doors, plasterboard, skirting, architraves and any other surfaces which are not pre-finished.

**Standard** - The builder shall apply a minimum of 2x coats to ensure that no blemishes or streaks occur. The builder shall apply additional coats if required. All work shall be carried out in accordance with the paint manufacturer's recommendations for preparation and application of the paints.

**Colours** - To be nominated by client.

### Paint Type - External

Timber and metal	-	2 coats of gloss acrylic
Downpipes	-	2 coats of gloss acrylic
Eaves	-	2 coats of matt acrylic

### Paint Type - Internal

Doors	-	2 coats of gloss enamel
Skirting & Architrave	-	2 coats of gloss enamel
Walls	-	2 coats of Wash N Wear acrylic
Ceiling	-	2 coats of matt acrylic

## CLEAN UP

The builder shall remove from the site any unused uilding materials, rubbish, etc. The builder shall level the site of any surplus soil, etc. The builder shall clean the windows & house generally, ready for occupation.

**SIGN HERE**

DATE : \_\_\_\_\_

## NEW RESIDENCE

LOT 10 (14A) LOMANDRA COURT, YARRAWONGA, VIC 3730

SCALE  
@ A3

CHK. BY:

DWG. BY:

REG. NO.:  
DB-U 28382

DRAWING NO.

XX-XXXXX-WD13

DWG REF:  
01\_00-23 - N-EP000-SS - Lot  
10 - Yarrawonga Court

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www.lekeal.com.au

## SPECIFICATIONS

ENERGY RATERS STAMP

ISSUE DATE  
Revision 1 - 20/10/2023  
DRAWING STATUS  
**SALES STAGE**

\*\*PERSPECTIVES ARE FOR ILLUSTRATIVE PURPOSES ONLY. REFER TO SPECS & SELECTION FOR THE INCLUSIONS.



**NEW RESIDENCE**  
LOT 10 (14B) LOMANDRA COURT, YARRAWONGA, VIC 3730

SCALE @ A3  
CHK. BY: - DWG. BY: KAS  
REG. NO.: DB-U 28382

DRAWING NO. XX-XXXXX-WD00

BUILDING SPECIFICATIONS: (TBC)		CHANGE LOG:	
ROOF:	MONUMENT	AUTO-SECTIONAL DOOR:	COSMOPOLITAN - MONUMENT
GUTTER:	MONUMENT	PORCH:	133 AXON LINED CEILING; EXP. AGG.
FASCIA:	MONUMENT	ALFRESCO:	VERSILUX LINED CEILING; EXP. AGG.
SPOUT:	MONUMENT	MAIN FLOOR COVERING:	HYBRID
ALUM. WINDOWS & DOORS:	MONUMENT	POOL SIDE:	N/A
CLADDING:	133 AXON SMOOTH - JASPER	EXPOSED AGGREGATE:	BEACHSIDE
FACE BRICKS:	VAULT GREY	<b>NOTE:</b> CHANGING THE COLOURS OR MATERIALS ABOVE MAY HAVE COST IMPLICATIONS. IF CONFLICT ARISE BETWEEN THIS TABLE & COCONSTRUCT SPECS & SELECTIONS, PLEASE ALWAYS ASK & CONFIRM.	
RENDER:	MARBLE MIST / MONUMENT		
STONE:	N/A		

**REVISION 1**

**SIGN HERE**

DATE : \_\_\_\_\_

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**PERSPECTIVE**



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ISSUE DATE  
Revision 1 - 20/10/2023  
DRAWING STATUS  
**SALES STAGE**



**NEW RESIDENCE**  
LOT 10 (14B) LOMANDRA  
COURT, YARRAWONGA,  
VIC 3730

SCALE  
1:237.47, 1:349.03, 1:318.36, 1:224.31,  
CHK. BY: DWG. BY:  
- KAS  
REG. NO.:  
DB-U 28382

DRAWING NO.  
**XX-XXXXX-WD00**

DWG REF:  
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**PERSPECTIVES**

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DATE : \_\_\_\_\_

**WALL & CEILING INSULATION:**  
 - R2.0 WALL INSULATION TO EXTERNAL PERIMETER HOUSE WALL EXCEPT GARAGE EXTERNAL WALLS  
 - R4.1 CEILING INSULATION TO HOUSE EXCEPT GARAGE

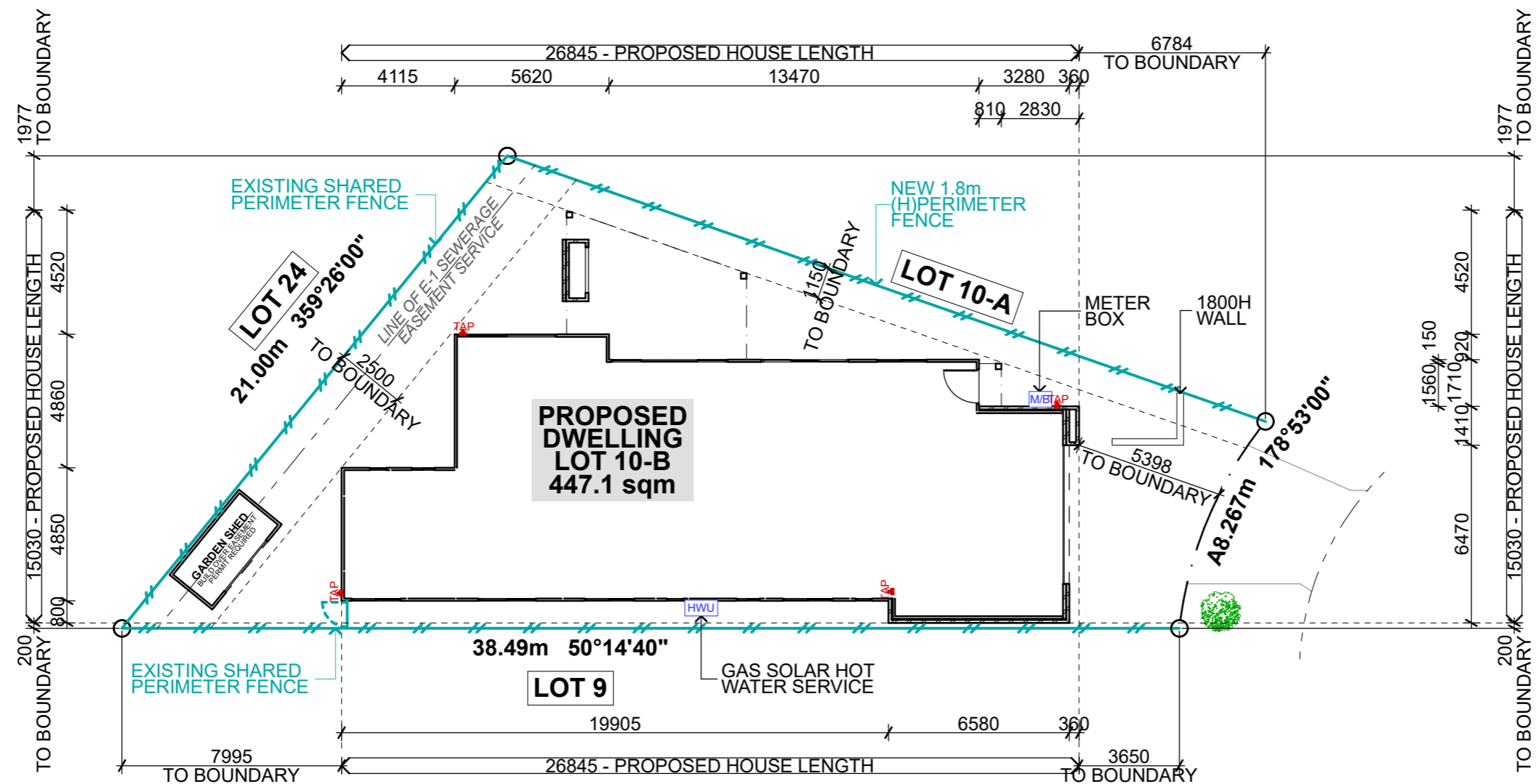
CONCRETE WAFFLE POD SLAB  
 EVAPORATIVE COOLING  
 DUCTED GAS HEATING

ENERGY RATERS STAMP

ISSUE DATE  
 Revision 1 - 20/10/2023  
 DRAWING STATUS  
**SALES STAGE**

**NOTES:**  
 All site dimensions are in meters unless specified otherwise and are shown approximate only.  
 For details of all easements, refer to the subdivision plan or certificate of title and other information by the responsible authority.  
 Refer to plan of subdivision of all bearings, distances and other site information.  
 All stormwater, waste water and sewer / septic details to the requirements of the responsible authority.

Soil Type:	P (TBC)
Wind Category:	N2 (TBC)
BAL Compliance:	N/A
Outer Area:	NO
Slab Thickness:	100mm (TBC)



**NEW RESIDENCE**  
 LOT 10 (14B) LOMANDRA COURT, YARRAWONGA, VIC 3730

SCALE  
 1:200 @ A3  
 CHK. BY: - DWG. BY: KAS  
 REG. NO.: DB-U 28382

DRAWING NO.  
**XX-XXXXX-WD01**

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 DATE : \_\_\_\_\_

**SET-OUT PLAN**  
 SCALE 1:200

**WALL & CEILING INSULATION:**  
 - R2.0 WALL INSULATION TO EXTERNAL PERIMETER HOUSE WALL EXCEPT GARAGE EXTERNAL WALLS  
 - R4.1 CEILING INSULATION TO HOUSE EXCEPT GARAGE

CONCRETE WAFFLE POD SLAB  
 EVAPORATIVE COOLING  
 DUCTED GAS HEATING

ENERGY RATERS STAMP



ISSUE DATE  
 Revision 1 - 20/10/2023  
 DRAWING STATUS  
**SALES STAGE**

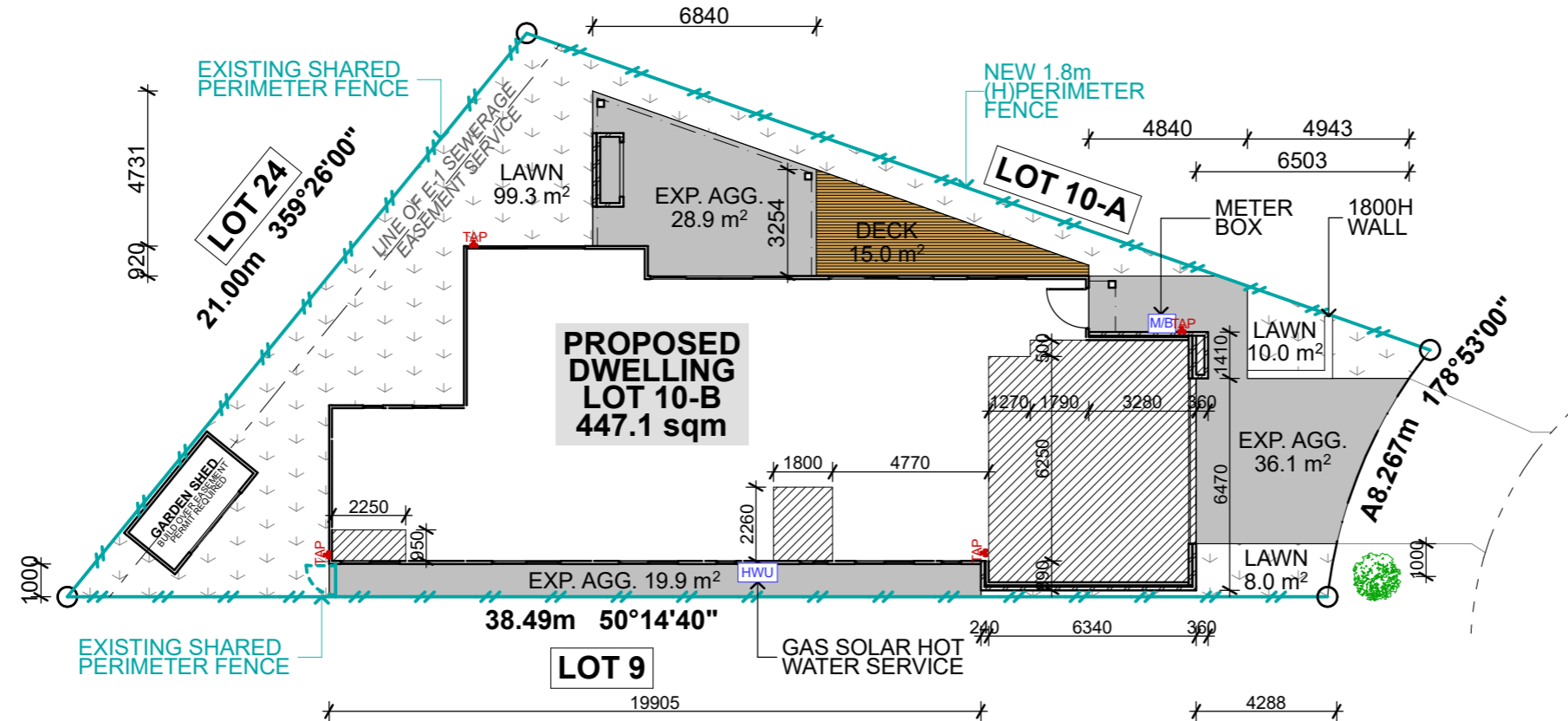
**NOTES:**  
 All site dimensions are in meters unless specified otherwise and are shown approximate only.  
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 Refer to plan of subdivision of all bearings, distances and other site information.  
 All stormwater, waste water and sewer / septic details to the requirements of the responsible authority.

Soil Type:	P (TBC)
Wind Category:	N2 (TBC)
BAL Compliance:	N/A
Outer Area:	NO
Slab Thickness:	100mm (TBC)

**PLANNING SCHEME REQUIREMENTS**  
 Garden Area Requirement:  
 UP TO 500sqm=25%; 501-650sqm=30%;  
 ABOVE 650sqm=35%

Site Area:	<b>447.1 sqm</b>
Garden Area Required (25%):	111.78 sqm
Garden Area Proposed:	<b>114.93 sqm</b>
Permeable Area Required (20%):	89.42 sqm
Permeable Area Proposed:	<b>100.85 sqm</b>

**SITE COVERAGE REQUIREMENTS**  
 Maximum site coverage allowable (60%): 268.26 sqm  
 Maximum site coverage proposed (59.82%): **267.47 sqm**



**NEW RESIDENCE**  
 LOT 10 (14B) LOMANDRA COURT, YARRAWONGA, VIC 3730

SCALE  
 1:200, 1:2 @ A3  
 CHK. BY: - DWG. BY: KAS  
 REG. NO.: DB-U 28382

DRAWING NO.  
**XX-XXXXX-WD02**

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**CONCRETE & LANDSCAPE PLAN**

**CONCRETE & LANDSCAPE PLAN**  
 SCALE 1:200

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 DATE : \_\_\_\_\_

**2550mm CEILING HT.**

CONCRETE WAFFLE POD SLAB  
REFRIGERATED COOLING  
3-PHASE POWER  
DUCTED GAS HEATING

**SYMBOLS:**

- Gas point
- Tap / Water point
- Meter Box
- Hot Water Unit
- Refrigerated Air Conditioning Unit
- Downpipe

**LEGEND**

- General**
- AS Australian Standards
  - AL Aluminium
  - BCA Building Code of Australia
  - CBD Cupboard
  - CRS Centres
  - HT Height
  - O/A Over all
- B/H** Bulk head  
**CH** Ceiling height  
**O/H** Over head  
**S.P.** Set-out Point
- Laundry**
- WM Washing Machine
  - D Dryer
  - TR Trough
- Bathrooms**
- OHS Overhead Shower
  - TWR Twin Water Rail Shower
  - SWR Single Water Rail Shower
  - WC Water closet
  - VB Vanity Basin
  - BT Bath Tub
  - FBT Freestanding Bath Tub
- Bathrooms**
- FW Floor Waste
  - CW Channel Waste
  - RH Robe Hook
  - TRL Towel Rail
  - DP Down Pipe

ENERGY RATERS STAMP

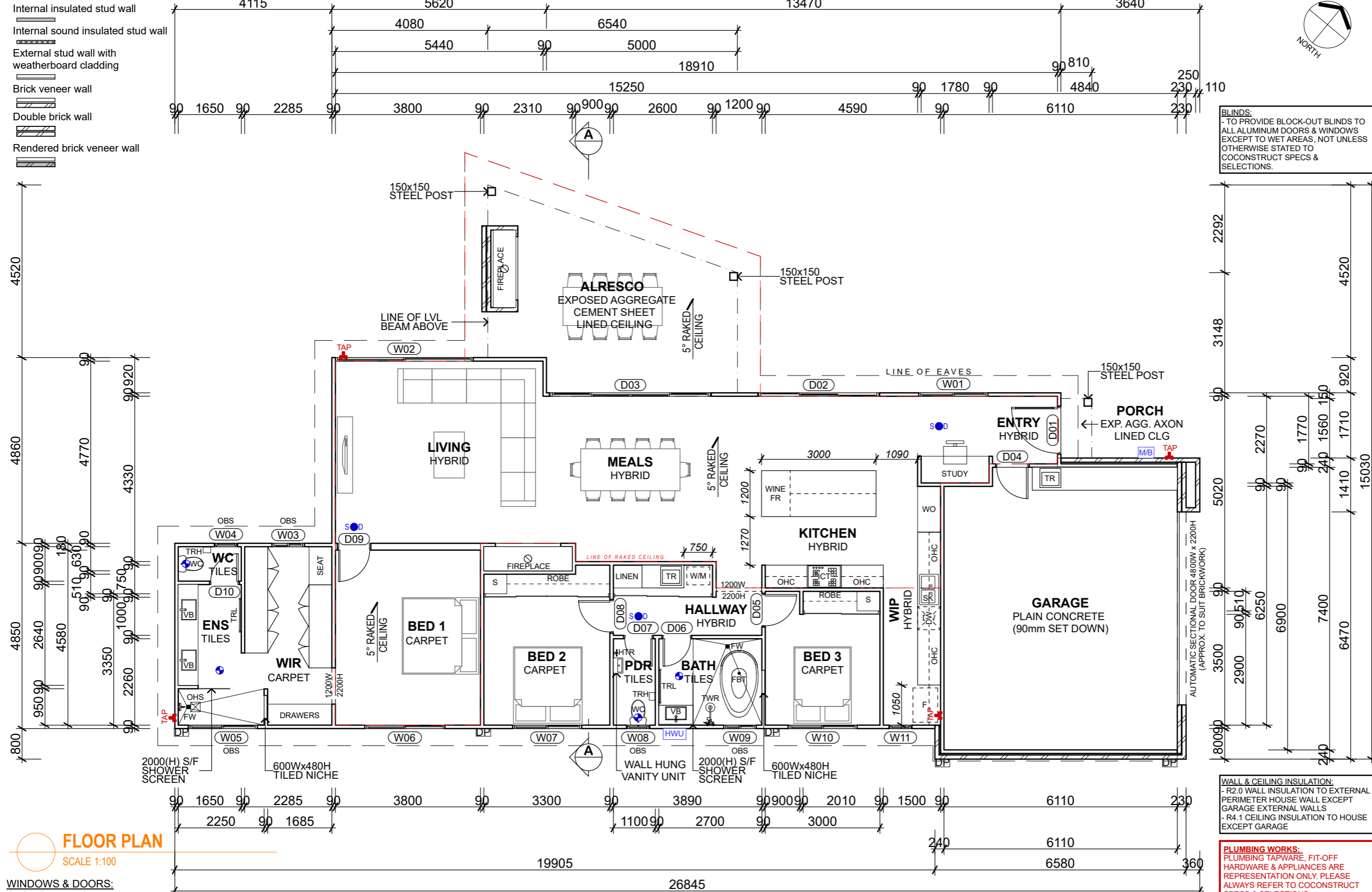
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DRAWING STATUS  
**SALES STAGE**

**GENERAL NOTE:**  
All dimensions, site and soil conditions to be verified on site, by the builder prior to ordering or placing any materials.  
All work shall conform to the National Construction Code of Australia.  
Do not scale drawings.  
This drawings is Copyright.  
**WALL THICKNESS**  
External Brick Veneer walls - 240mm  
Internal Stud walls - 90mm (unless otherwise stated)  
**WEATHER STRIPS**  
Weather strip to all external hinged doors.  
**DOORS**  
Doors shall be 820x2040 unless noted otherwise. Bathroom, Ensuite and Toilets shall have 720x2040 doors (unless otherwise stated)

AREAS	SQM	SQS	EXT PERIM
LIVING	172.63	18.58	55.45
GARAGE	49.36	5.31	19.25
PORCH	1.64	0.18	2.67
ALFRESCO	28.91	3.11	15.23
DECKING	14.94	1.61	9.15
TOT. FLR. AREA	267.47	25.79	

**SQUARE SET TO ENTIRE HOUSE NOT UNLESS OTHERWISE STATED IN COCONSTRUCT SPECS & SELECTIONS**



**FLOOR PLAN**  
SCALE 1:100

**WINDOWS & DOORS:**  
OBS - Obscure Glazing  
DG - Double Glazing  
OS/T - 300Ø Solar Tube  
CP - Comfort Plus Glazing  
SG - Sunergy Grey

**STRUCTURAL NOTES**  
Bracing Plan by Engineer if required.

**LINTEL SIZES-LOAD BEARING:**  
Structural Lintel to be designed by engineers. Refer details supplied by wall / truss manufacturer.

**BUSHFIRE REQUIREMENTS**  
The proposed dwelling is NOT located in Bushfire Prone Area & therefore does not require a BAL assessment or any construction requirements as per AS3959:2009

**SMOKE DETECTORS**  
Smoke Detectors to be fitted between bedrooms & living areas. These shall be installed as per AS3786 all smoke detectors to be interconnected. Connect to main electricity supply.

**BATHROOM / ENSUITE**  
In situ shower. All work to BCA Part 3.8.1. Provide mechanical ventilation to all baths and ensuite's in accordance with AS 1668.2 and BCA Part 3.8.5

**JOINERY:**  
All pantry, robes, cupboards and W.I.R. details by cabinet maker and to be verified with client or building designer prior to manufacture.

**BALUSTRADE**  
To comply with AS 1170.1 and BCA 3.9.2

**WALL & CEILING INSULATION:**  
- R2.0 WALL INSULATION TO EXTERNAL PERIMETER HOUSE WALL EXCEPT GARAGE EXTERNAL WALLS  
- R4.1 CEILING INSULATION TO HOUSE EXCEPT GARAGE

**PLUMBING WORKS:**  
PLUMBING TAPWARE, FIT-OFF HARDWARE & APPLIANCES ARE REPRESENTATION ONLY. PLEASE ALWAYS REFER TO COCONSTRUCT SPECS & SELECTIONS.

**SIGN HERE**

DATE : \_\_\_\_\_

**NEW RESIDENCE**  
LOT 10 (14B) LOMANDRA COURT, YARRAWONGA, VIC 3730

SCALE  
1:100 @ A3

CHK. BY: DWG. BY:  
KAS KAS

REG. NO.:  
DB-U 28382

DRAWING NO.  
**XX-XXXXX-WD03**

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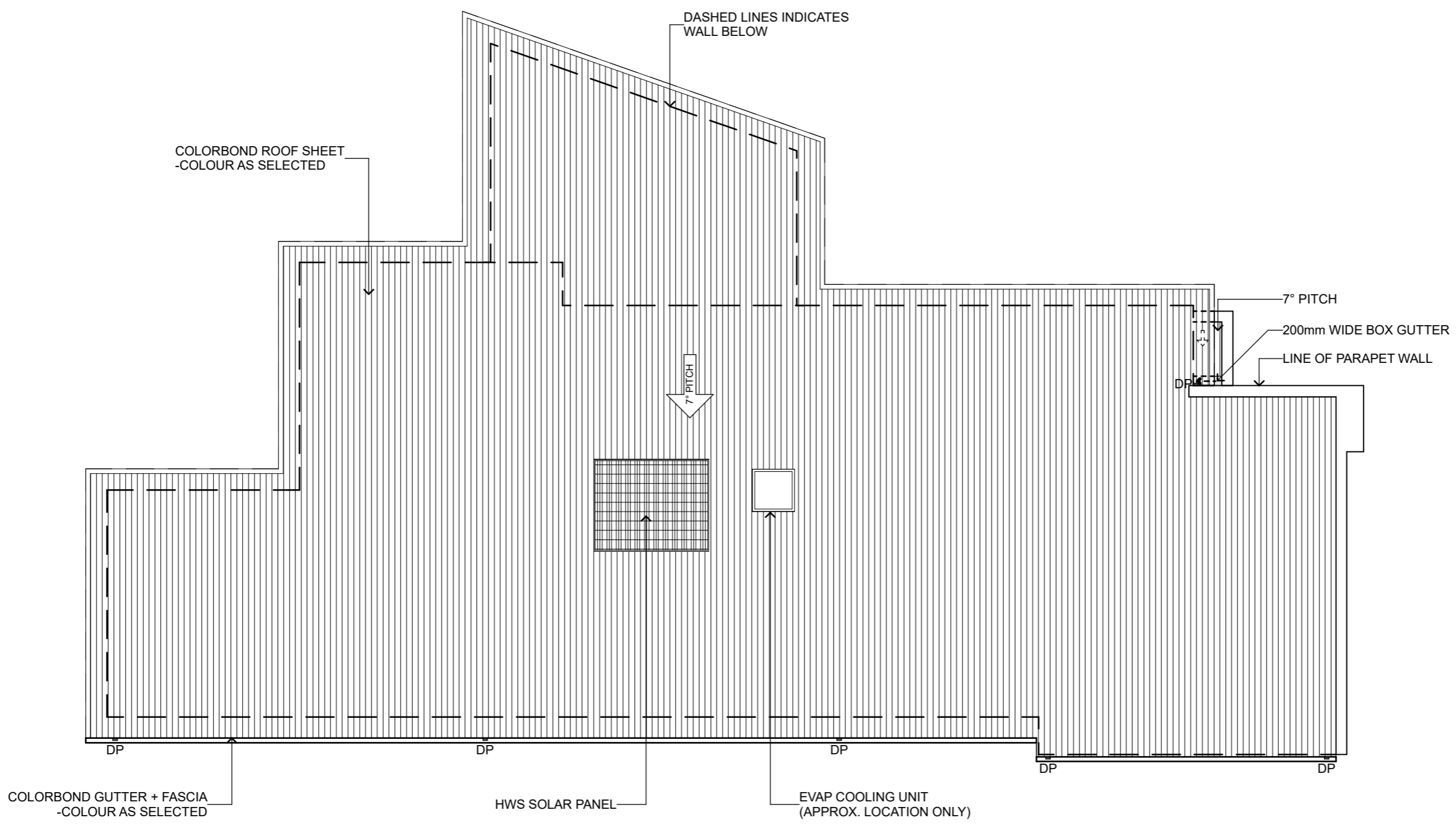
**FLOOR PLAN**

ENERGY RATERS STAMP

ISSUE DATE  
Revision 1 - 20/10/2023  
DRAWING STATUS  
**SALES STAGE**

**NOTES:**  
■ DP Denotes colorbond downpipes. Downpipes at 12m cts. max. Locate a DP within 1.2m of any valley.  
- - - Dashed line denoted walls under.  
↙ Denotes roof pitch  
Colourbond roofing installed to manufacturer's requirements and BCA regulations.  
All roofing to comply with A3500. Make roof watertight.  
Install sarking below all metal roofs. Extend sarking 50mm into gutters.  
All box gutters to comply with SAA/SNZ 114 Current Version  
-Guidelines for Design of Eaves and Box Gutters  
Turn throughs of all decking down 15mm at ends of all sheets.

- TO PROVIDE ROOF FLUE VENT FOR EXHAUST FANS & RANGE HOODS  
- TO PROVIDE ROOF VENTILATIONS. VERIFY ROOF SUPPLIER FOR LOCATION



**NEW RESIDENCE**  
LOT 10 (14B) LOMANDRA COURT, YARRAWONGA, VIC 3730

SCALE  
1:100 @ A3  
CHK. BY: - DWG. BY: KAS  
REG. NO.: DB-U 28382

DRAWING NO.  
**XX-XXXXX-WD04**

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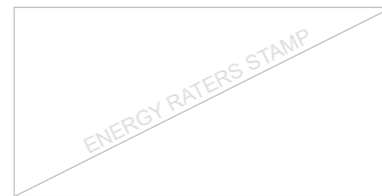
**ROOF PLAN**

**ROOF PLAN**  
SCALE 1:100

**SIGN HERE**  
DATE : \_\_\_\_\_

FLOOR COVERING AREA	
ROOM NAME	FINISHES
BATH	TILES
BEDROOM 1	CARPET
BEDROOM 2	CARPET
BEDROOM 3	CARPET
ENSUITE	TILES
ENTRY	HYBRID
GARAGE	PLAIN CONCRETE
HALLWAY	HYBRID
KITCHEN	HYBRID
LAUNDRY	TILES
LIVING	HYBRID
MEALS	HYBRID
PWD	TILES
WC	TILES
WIP	HYBRID
WIR	CARPET

**NOTE:**  
- TO ALL EXTERNAL FLOOR COVERINGS, REFER TO CONCRETE & LANDSCAPE PLAN (WD02 SHEET)



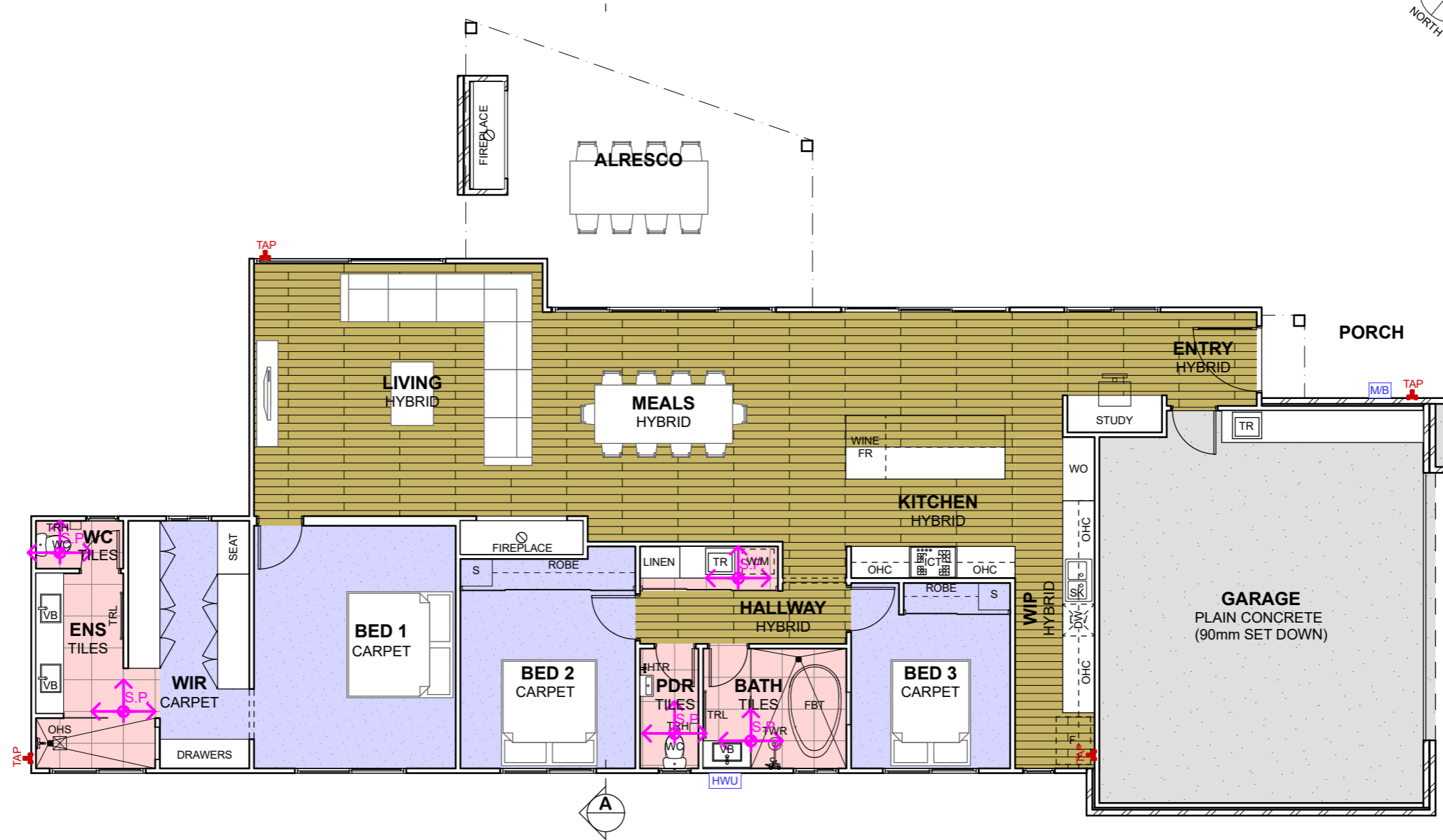
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Revision 1 - 20/10/2023  
DRAWING STATUS  
**SALES STAGE**

- NOTES:**
- FLOATING TIMBER FLOOR
  - PLAIN CONCRETE
  - FLOOR TILES
  - CARPET
  - EXPOSED AGGREGATE

- ALL GROUTS TO BE CONFIRMED WITH THE TILER ON SITE.

-ALL WC IN SKIRTING TILES NOT UNLESS OTHERWISE STATED IN CPS.

**WET AREA WALLS:**  
PROVIDE AN IMPERVIOUS SUBSTRATE AND SELECT SURFACE FINISH TO FLOORS WITHIN 1500MM OF AN UNCLOSED SHOWER AND SAME TO WALLS AT 1800MM ABOVE FLOORS AND 150MM ABOVE BATH, SINKS, BASIN AND TROUGH SPLASHBACKS AND THE LIKE. BCA PART 3.8.1



**NEW RESIDENCE**  
LOT 10 (14B) LOMANDRA COURT, YARRAWONGA, VIC 3730

SCALE  
1:100, 1:1.25 @ A3

CHK. BY: -      DWG. BY: KAS

REG. NO.:  
DB-U 28382

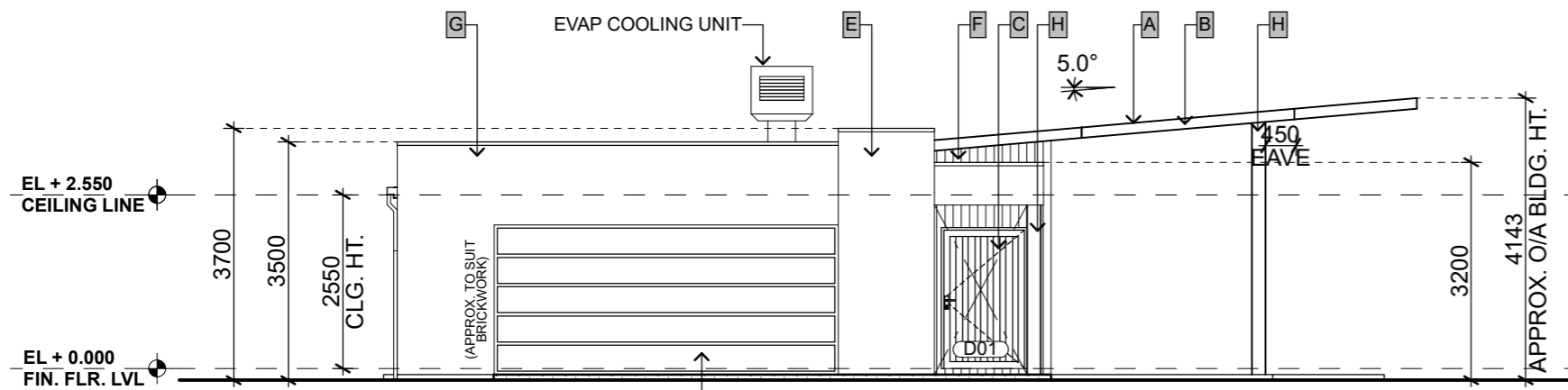
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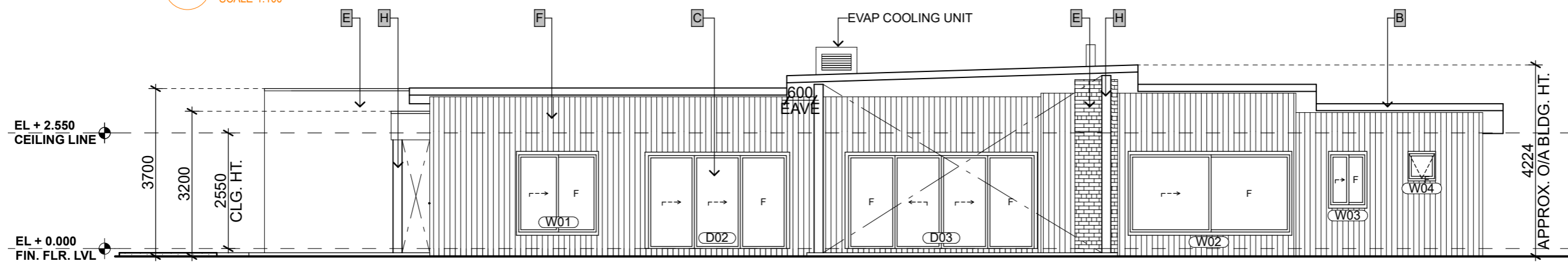
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**FLOOR COVERINGS PLAN**

**SIGN HERE**

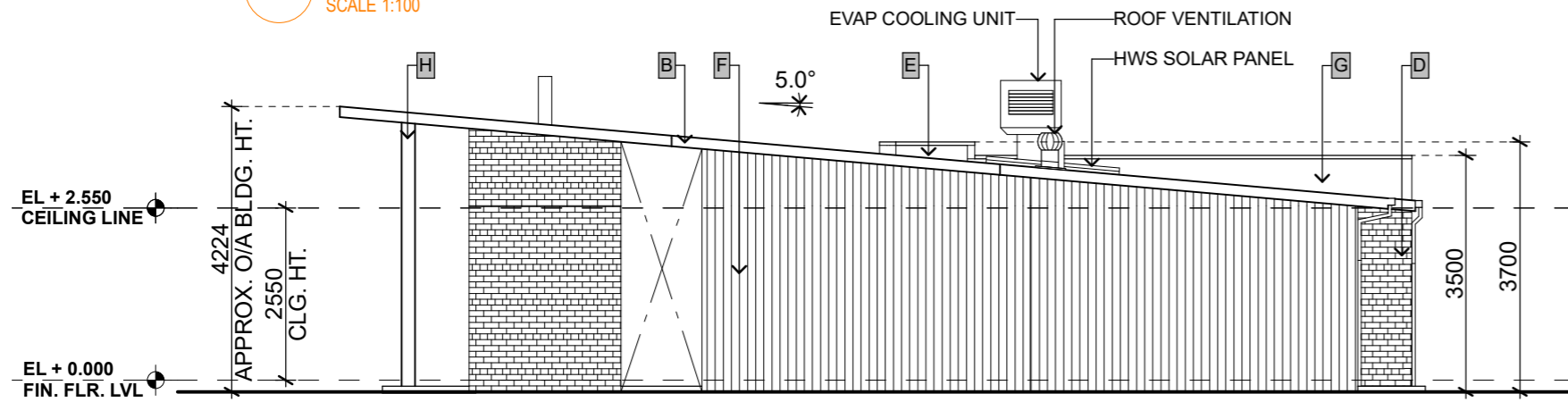
DATE : \_\_\_\_\_



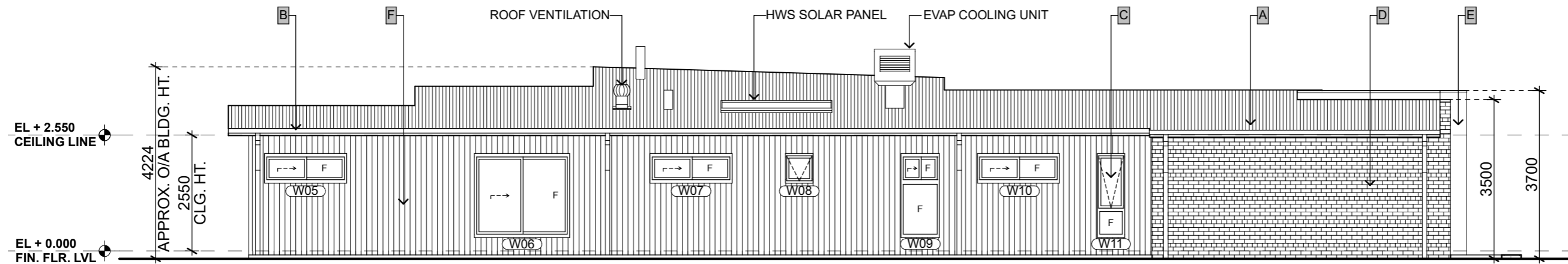
**FRONT ELEVATION**  
SCALE 1:100



**RIGHT SIDE ELEVATION**  
SCALE 1:100



**REAR ELEVATION**  
SCALE 1:100



**LEFT SIDE ELEVATION**  
SCALE 1:100

ENERGY RATERS STAMP

ISSUE DATE  
Revision 1 - 20/10/2023  
DRAWING STATUS  
**SALES STAGE**

- SCHEDULE OF FINISHES**
- A. COLORBOND ROOF - COLOUR AS SELECTED
  - B. COLORBOND FASCIA / GUTTER - COLOUR AS SELECTED
  - C. ALUMINUM P/C DOORS & WINDOWS - COLOUR AS SELECTED
  - D. BRICKS - AS SELECTED
  - E. RENDERED - COLOUR AS SELECTED
  - F. HARDIES FINE TEXTURE - COLOUR AS SELECTED
  - G. RENDERED - COLOUR AS SELECTED
  - H. STEEL POST - COLOUR AS SELECTED

**SOLAR PANEL / HWS PANEL / ROOF VENT / SKYLIGHT**  
LOCATIONS ARE APPROXIMATE ONLY. VERIFY SUPPLIERS FOR LOCATIONS & CLIENTS TO CONFIRM ITS LOCATIONS.

**NEW RESIDENCE**  
LOT 10 (14B) LOMANDRA COURT, YARRAWONGA, VIC 3730

SCALE  
1:100 @ A3  
CHK. BY: DWG. BY:  
- KAS  
REG. NO.:  
DB-U 28382

DRAWING NO.  
**XX-XXXXX-WD06**

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**ELEVATIONS**

**SIGN HERE**  
DATE : \_\_\_\_\_

**WALL FRAMING:**  
 BUILDER TO USE:  
 90x35mm MGP10 STUDS AT 600mm CTS. MAXIMUM,  
 2/45x90mm MGP10 TOP PLATES TO LOAD BEARING WALLS, 35x90 MGP10 BOTTOM PLATE.  
 JAMB STUDS - REFER TO TABLE.  
 BRACE WALLS WITH APPROVED SHEET BRACES. ALL WALL FRAMING SHALL COMPLY WITH AS1684. NOGGINGS @ 1350mm CTS. MAX.

PINE ROOF TRUSSES @900CRS.  
 PINE ROOF TRUSS SYSTEM DESIGNED BY MANUFACTURER AND INSTALLED TO MANUFACTURER'S SPECIFICATION

**ROOF:**  
 COLORBOND ROOFING PITCHED AT 22° WITH METAL TOP HATS @ 900mm CTS. BUILDER TO REFER TO TRUSS FABRICATOR DETAILS FOR LAYOUT AND COMPUTATIONS.  
 ALL ROOF FRAMING SHALL COMPLY WITH AS1684, PRE-FAB TIMBER ROOF TRUSSES @ 900 CTS.

RFLAS SARKING TO UNDERSIDE OF ROOFING  
 DOUBLE SIDED RFL TO OUTER FACE OF EXTERNAL STUDS

DAMP PROOF COURSE TO EXTEND MIN 75MM ABOVE FLOOR LEVEL FIX TOP EDGE OF DPC TO STUDS WITH CLOUTS OR PROPRIETARY FASTENERS

ALL TIMBER FRAMING IN ACCORDANCE WITH AS1684 AND BCA PART 3.4 FRAMING TO BE 90x35 & 90x45 MGP10 STUDS @ 450CRS WITH NOGGINGS AT MAX 1350MM HIGH  
 F17 LINTELS OVER ALL OPENINGS IN FRAMEWORK WHERE REQUIRED FRAME TO BE BRACED WITH PROPRIETARY METAL STRAP BRACING AND SHEET BRACING WHERE REQUIRED TO BCA PART 3.4 FRAMING AND AS1684

ENSUITE AND BATHROOM EXHAUST FANS TO BE VENTED TO OUTSIDE IN ACCORDANCE WITH BCA PART 3.8.5.0

ARCHITRAVES, SKIRTINGS & DOORS AS SELECTED

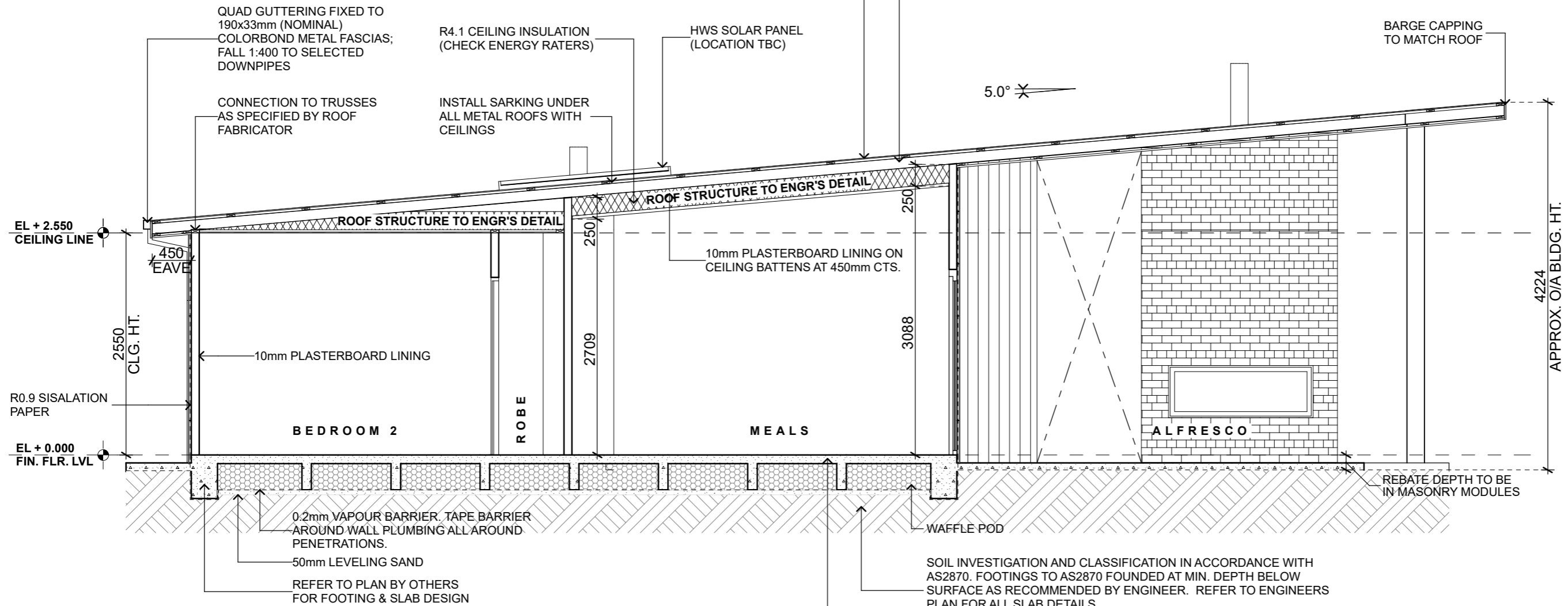
CSR GYPROCK 10MM THICK TO WALLS AND CEILINGS ALL FIXED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS CORNICES AS SELECTED BY CLIENT

CLAY BRICKS AS SELECTED WITH SELECTED MORTAR & JOINTING TYPE.  
 ALL BLOCKWORK IN ACCORDANCE WITH AS3700 AND BCA PART 3.3 MASONRY CONSTRUCTION PROPRIETARY WALL TIES IN BRICKWORK @ MAX 600CTRS IN EACH DIRECTION AND WITHIN 300MM OF ARTICULATION JOINTS. ARTICULATION JOINTS IN BRICKWORK TO BCA PART 3.3 & BCA REFER TO ENGINEERS SLAB PLAN FOR LOCATIONS

LITEWEIGHT CLADDING AS SELECTED

ENERGY RATERS STAMP

ISSUE DATE  
 Revision 1 - 20/10/2023  
 DRAWING STATUS  
**SALES STAGE**



**NOTE:**  
 PROVIDE A CONTINUOUS IMPERMEABLE BARRIER WITH THE SARKING / HOUSE WRAP / REFLECTIVE FOIL. PAY PARTICULAR ATTENTION TO:  
 1. TAPING ALL JOINS AND AROUND PENETRATIONS (SUCH AS PLUMBING SERVICES);  
 2. ENSURING THAT THE MATERIAL COVERS THE GAP BETWEEN STUDS AND DOOR & WINDOW FRAMES. IF FLASHING IS ATTACHED TO WINDOW FRAME, FLASHING SHOULD BE TAPED OVER SARKING / HOUSE WRAP / REFLECTED FOIL.

SOIL INVESTIGATION AND CLASSIFICATION IN ACCORDANCE WITH AS2870. FOOTINGS TO AS2870 FOUNDED AT MIN. DEPTH BELOW SURFACE AS RECOMMENDED BY ENGINEER. REFER TO ENGINEERS PLAN FOR ALL SLAB DETAILS

PROVIDE TERMITE PROOFING UNDER SLAB AND VERANDAH AND ANY OTHER CRITICAL AREAS RECOGNISED AS BEING SUSCEPTIBLE TO INFESTATION APPROVED TERMITE PROOFING METHOD TO BE CARRIED OUT BY CONTRACTOR IN ACCORDANCE WITH BCA AND AS 3660.

**NEW RESIDENCE**  
 LOT 10 (14B) LOMANDRA COURT, YARRAWONGA, VIC 3730

SCALE  
 1:50 @ A3  
 CHK. BY: - DWG. BY: KAS  
 REG. NO.: DB-U 28382

DRAWING NO.  
**XX-XXXXX-WD07**

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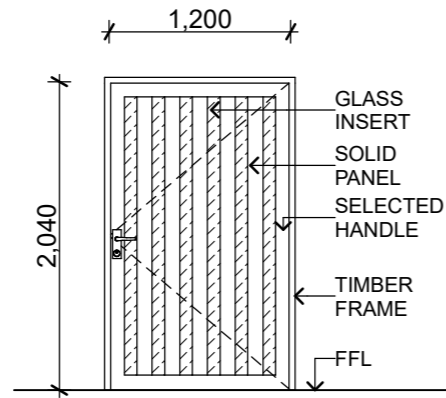
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 SCALE 1:50

**SIGN HERE**  
 DATE : \_\_\_\_\_

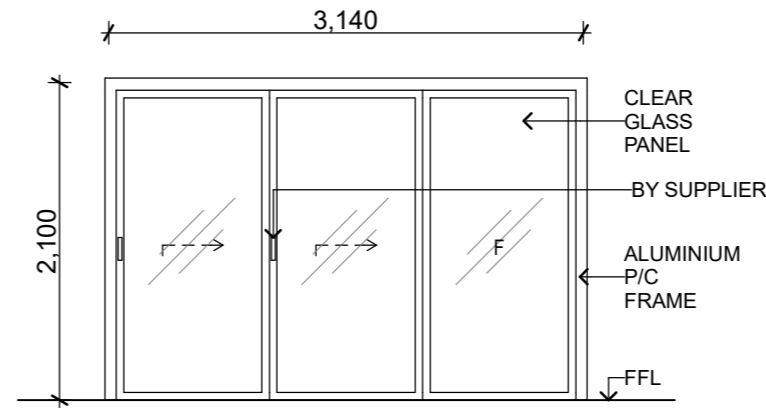
**SECTION**



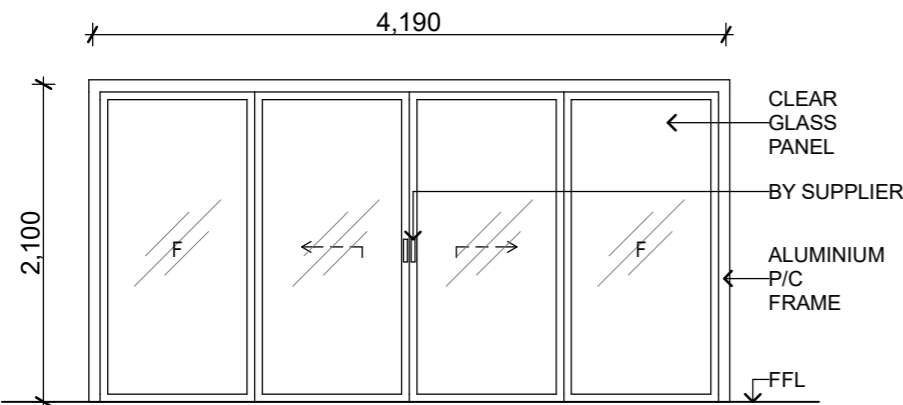
DOOR SCHEDULE		
DOOR NO.	SIZE	TYPE
D01	1200x2040	H
D02	3140x2100	A
D03	4190x2100	A
D04	820x2040	H
D05	820x2040	H
D06	720x2040	H
D07	720x2040	H*
D08	820x2040	H
D09	820x2040	H
D10	720x2040	H*



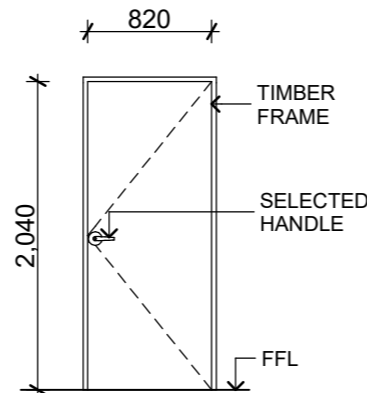
D01  
ENTRY  
TIMBER EXTERNAL  
SOLID PANEL  
HINGED DOOR



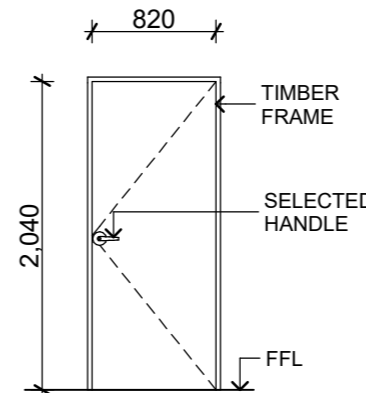
D02  
KITCHEN THRU DECK  
ALUMINIUM POWDER COATED  
SLIDING DOOR W/ FIXED PANEL  
ALUMINIUM SLIDING DOOR



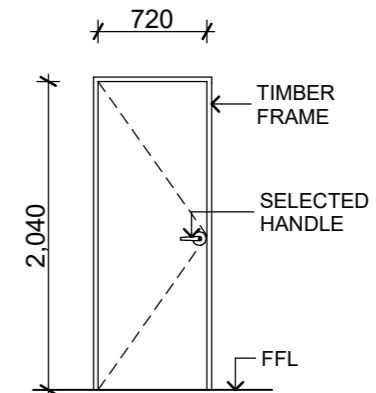
D03  
MEALS  
ALUMINIUM POWDER COATED  
SLIDING DOOR W/ FIXED PANEL  
ALUMINIUM SLIDING DOOR



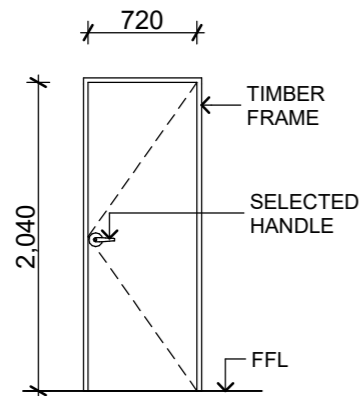
D04  
GARAGE  
TIMBER INTERNAL  
HOLLOW CORE  
HINGED DOOR



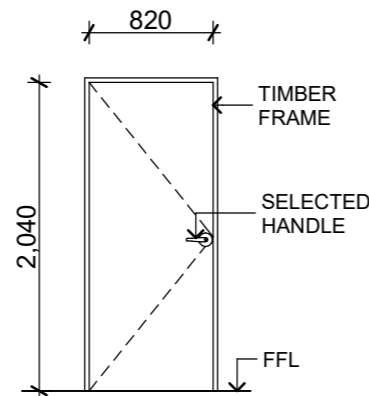
D05  
BEDROOM 3  
TIMBER INTERNAL  
HOLLOW CORE  
HINGED DOOR



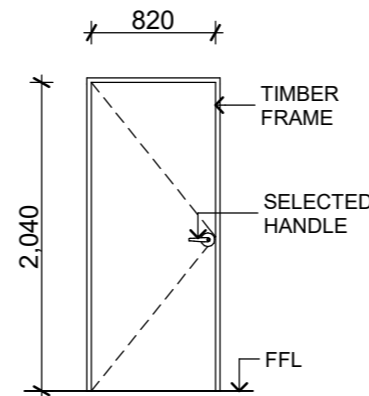
D06  
BATH  
TIMBER INTERNAL  
HOLLOW CORE  
HINGED DOOR



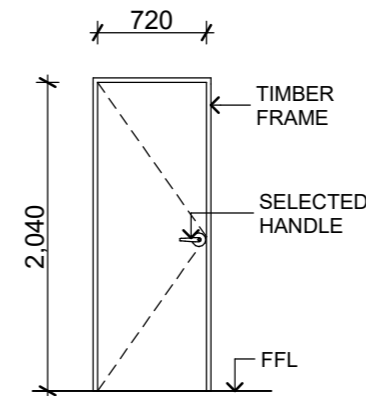
D07  
POWDER  
TIMBER INTERNAL  
HOLLOW CORE  
LIFT-OFF HINGED DOOR



D08  
BEDROOM 2  
TIMBER INTERNAL  
HOLLOW CORE  
HINGED DOOR



D09  
BEDROOM 1  
TIMBER INTERNAL  
HOLLOW CORE  
HINGED DOOR



D10  
WC  
TIMBER INTERNAL  
HOLLOW CORE  
LIFT-OFF HINGED DOOR

ENERGY RATERS STAMP

ISSUE DATE  
Revision 1 - 20/10/2023  
DRAWING STATUS  
**SALES STAGE**

**NOTES:**  
H HINGED DOOR  
CS CAVITY SLIDER  
\* REMOVABLE HINGES  
A ALUMINIUM P/C GLAZED DOOR  
2H PAIR HINGED DOORS  
2CS PAIR CAVITY SLIDERS  
BD BARN DOOR  
BI BI-FOLD DOOR

**WINDOWS & DOORS:**  
OBS Obscure Glazing  
DG Double Glazing  
CP Comfort Plus Glazing  
SG Sunergy Grey

THESE DRAWINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY. REFER TO SPECS FOR THE ACTUAL DOOR DESIGN & HANDLES

**NEW RESIDENCE**  
LOT 10 (14B) LOMANDRA COURT, YARRAWONGA, VIC 3730

SCALE  
1:1 @ A3  
CHK. BY: DWG. BY:  
- KAS  
REG. NO.:  
DB-U 28382

DRAWING NO.  
**XX-XXXXX-WD08**

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**DOOR SCHEDULE**

**SIGN HERE**  
DATE : \_\_\_\_\_

ENERGY RATERS STAMP

ISSUE DATE  
Revision 1 - 20/10/2023  
DRAWING STATUS  
**SALES STAGE**

**NOTES:**  
- CONFIRM ALL SIZES PRIOR TO ORDERING AS PER SITE MEASUREMENTS

**WINDOWS & DOORS:**  
OBS Obscure Glazing  
DG Double Glazing  
CP Comfort Plus Glazing  
SG Sunergy Grey

THESE DRAWINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY. VERIFY SUPPLIER FOR THE STANDARD WINDOW DESIGN, UNLESS CLIENT(S) WANTED A NON-STANDARD WINDOW SIZE.

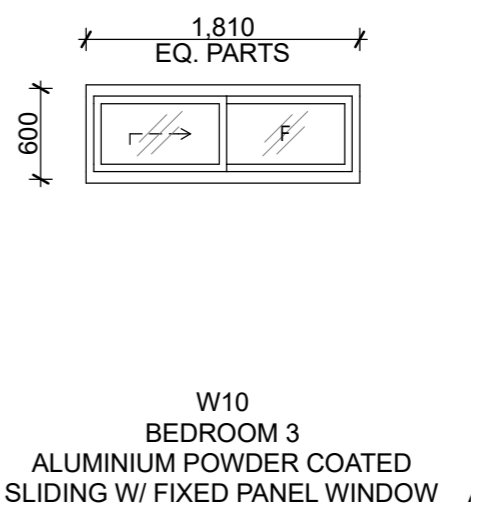
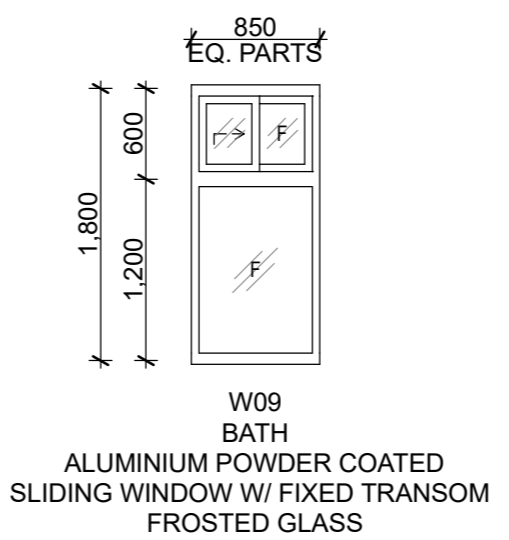
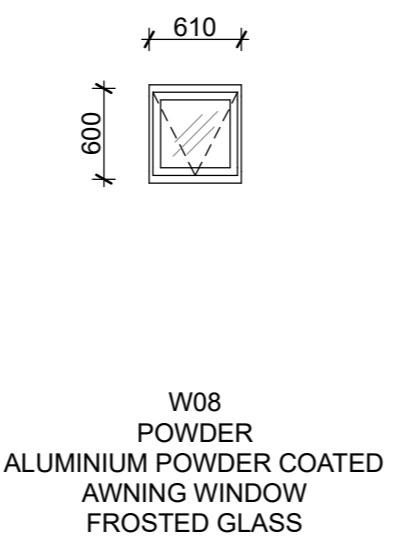
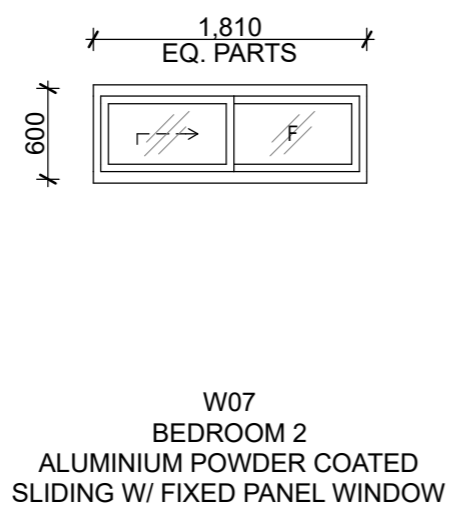
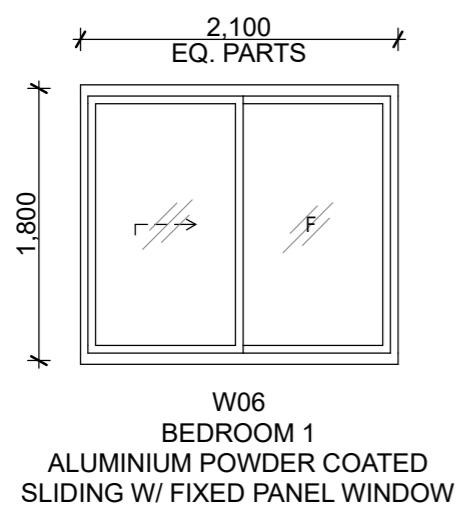
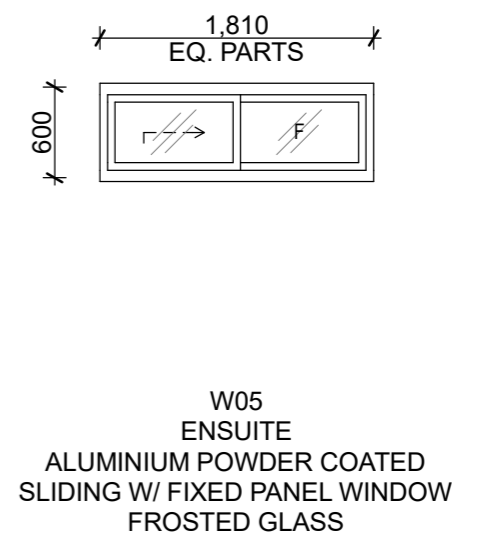
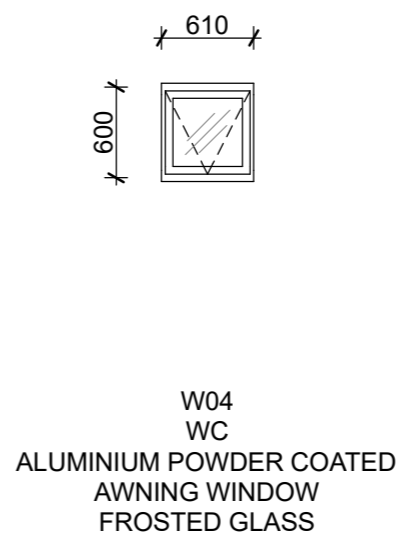
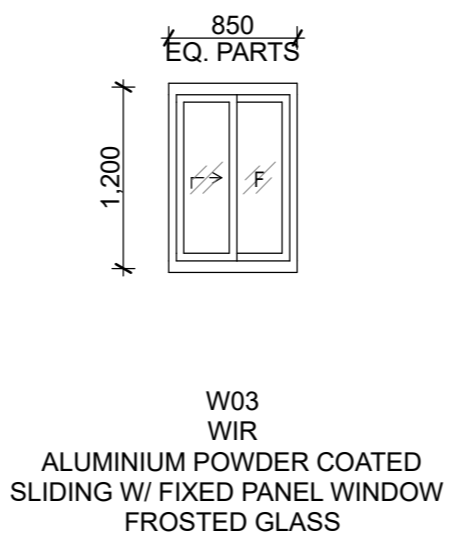
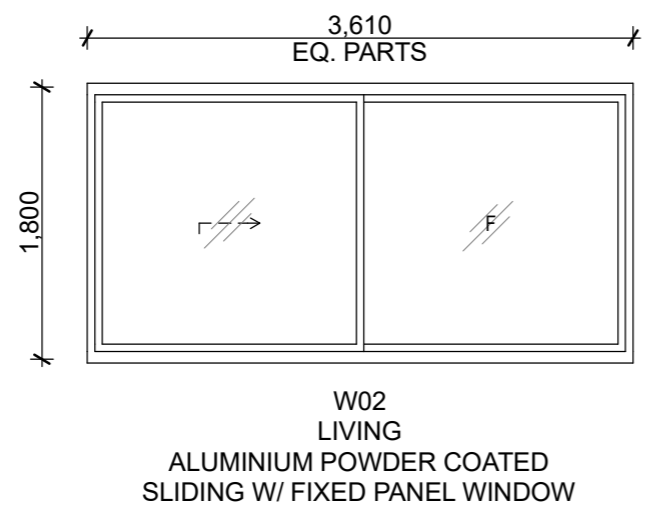
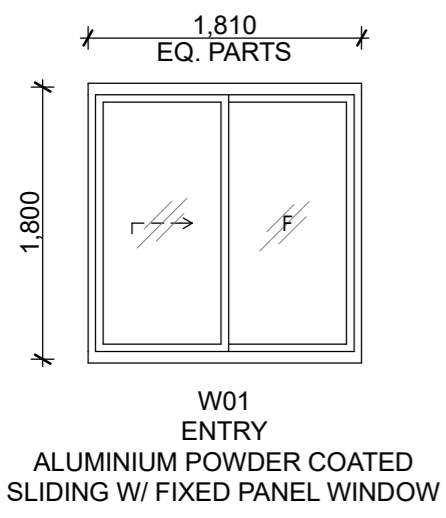
**NEW RESIDENCE**  
LOT 10 (14B) LOMANDRA COURT, YARRAWONGA, VIC 3730

SCALE  
1:1 @ A3  
CHK. BY: - DWG. BY: KAS  
REG. NO.: DB-U 28382

DRAWING NO.  
**XX-XXXXX-WD09**

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www.lekeal.com.au  
**WINDOW SCHEDULE**



**WINDOW SCHEDULE**  
SCALE 1:1

**SIGN HERE**  
DATE : \_\_\_\_\_

**ELECTRICAL NOTE:**

Internal power outlets to be located 300mm above the floor (or bench top) unless it serves a specific appliance such as a refrigerator or dishwasher where the position shall be appropriate for the equipment.

External & garage power outlets to be located 1000mm above floor. Power for garage doors to be located next to garage door motor. Powerpoints & light control switches shall be located next to garage door motor.

Light control points shall be located 1000mm from the floor.

All light fittings (except where noted otherwise) shall be supplied and installed by the builder.

TV aerial to be supplied and installed by owner after completion of contract.

Provide power to all appliances that require power such as heaters, coolers and stoves.

All work to comply with AS3000 and the Supply Authorities requirements.

Telephone connection fees by owner.  
Meter box to be metal.

Electrician to liaise with Client to check if NBN & associated data point connection is required to future proof house.

Smoke detectors to be interconnected as per regulation 3.7.2.2 (d) of the NCC.

Flow rates & discharge of exhaust systems to be in accordance with NCC 2019 Volume Two, Clause 3.8.7.3.

Building insulation abutting or is within 100mm horizontally of the luminaire must meet the following requirements:  
Be of a type that can maintain its dimensions and structural integrity when exposed to a maximum surface temperature of the class of the luminaire, being 90°C;  
Be of a type that can withstand a 30 second needle flame test carried out in accordance with AS/NZS 60695.11.5 with a flame applied to all surfaces of the sample. Insulation types which should not be used with this fitting are glass wool (Pink Batts) & polyester.

**IMPORTANT NOTE:** Builder must NOT install loose fill insulation, such as wool or macerated paper.  
Fixture Driver or Control Gear must be mounted above any insulation covering the fixture.

**POOL & PUMP SHED:**  
- PROVISION OF POWER & PLUMBING  
- BACKWASH & WATER LEVELLER  
CONNECTION TO BE INCLUDED

ENERGY RATERS STAMP

ISSUE DATE  
Revision 1 - 20/10/2023  
DRAWING STATUS  
**SALES STAGE**

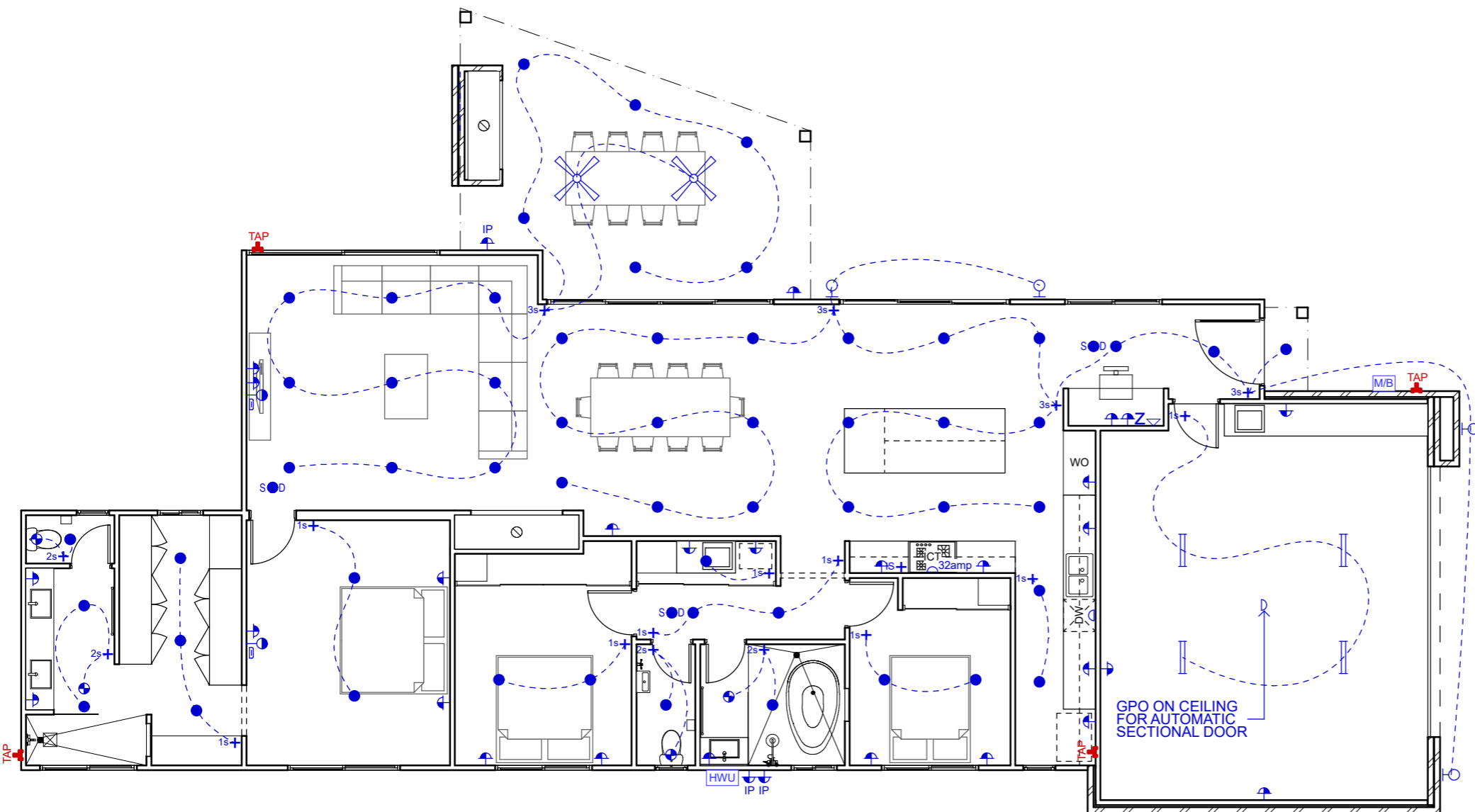


**LEGEND**

POWER		QTY.
	SINGLE GPO	1
	SINGLE GPO - 32AMP	1
	DOUBLE GPO	27
	SINGLE GPO IP RATED	-
	DOUBLE GPO IP RATED	3
	TV POINT	2
	METER BOX	1
	TELEPHONE POINT	1
	HOT WATER UNIT	1
	USB GPO	-
	FLOOR MOUNTED DOUBLE GPO	-
	DATA POINT	1
	TV AERIAL ANTENNA	1
	HDMI	2

LIGHTING		QTY.
	1-GANG SWITCH	9
	2-GANG SWITCH	4
	3-GANG SWITCH	4
	DIMMER SWITCH	-
	ISOLATION SWITCH	1
	TWO-WAY LIGHT SWITCHING	-
	THREE-WAY LIGHT SWITCHING	-
	ELECTRICAL WIRING	-
	WALL MOUNT LIGHT	4
	DOWNLIGHTS - LED	56
	DOWNLIGHT W/ SENSOR	-
	FLUORESCENT LIGHT	4
	EXHAUST FAN	4
	IXL TASTIC	-
	FAN ONLY	2
	FAN / LIGHT	-
	SMOKE DETECTOR	2
	LED STRIP LIGHT	-
	PENDANT FEATURE LIGHT	-
	SPOTLIGHT W/ SENSOR	-
	UP-DOWN WALL LAMP LIGHT	-
	DOUBLE ENDED SPOTLIGHT	-
	CHANDELIER	-
	ILLUME	-

OTHERS		QTY.
	GAS POINT	-
	TAP	4



ARTIFICIAL LIGHTING TO COMPLY WITH N.C.C.3.12.5.5			
WATT RATIO	ZONE	AREA	MAX. WATTS
HOUSE AREA 5W/m <sup>2</sup>	LIVING	172.63m <sup>2</sup>	863.15 W
COVERED AREA 4W/m <sup>2</sup>	PORCH	1.64m <sup>2</sup>	6.56 W
	ALFRESCO	28.91m <sup>2</sup>	115.64 W
GARAGE AREA 3W/m <sup>2</sup>	GARAGE	49.36m <sup>2</sup>	148.08 W
	TOTAL	252.54m <sup>2</sup>	1133.43 W

**ELECTRICAL PLAN**  
SCALE 1:100

**SIGN HERE**  
DATE : \_\_\_\_\_

**NEW RESIDENCE**  
LOT 10 (14B) LOMANDRA COURT, YARRAWONGA, VIC 3730

SCALE  
1:100 @ A3  
CHK. BY: DWG. BY:  
- KAS  
REG. NO.:  
DB-U 28382

DRAWING NO.  
**XX-XXXXX-WD10**

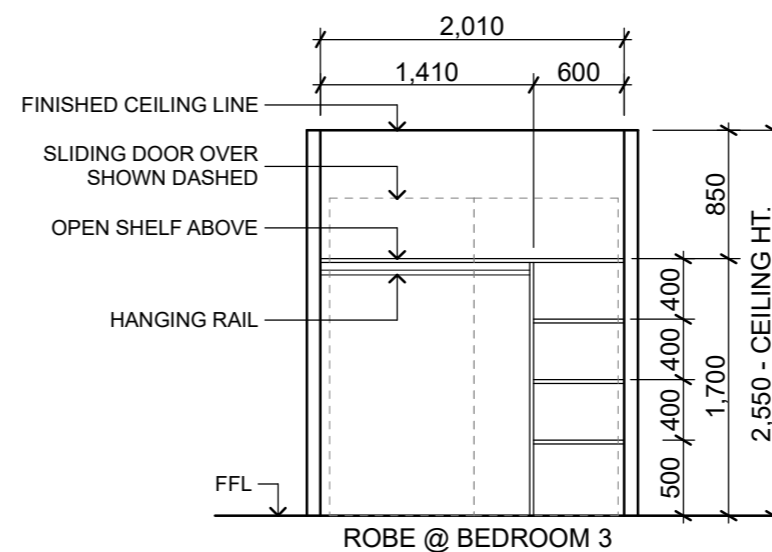
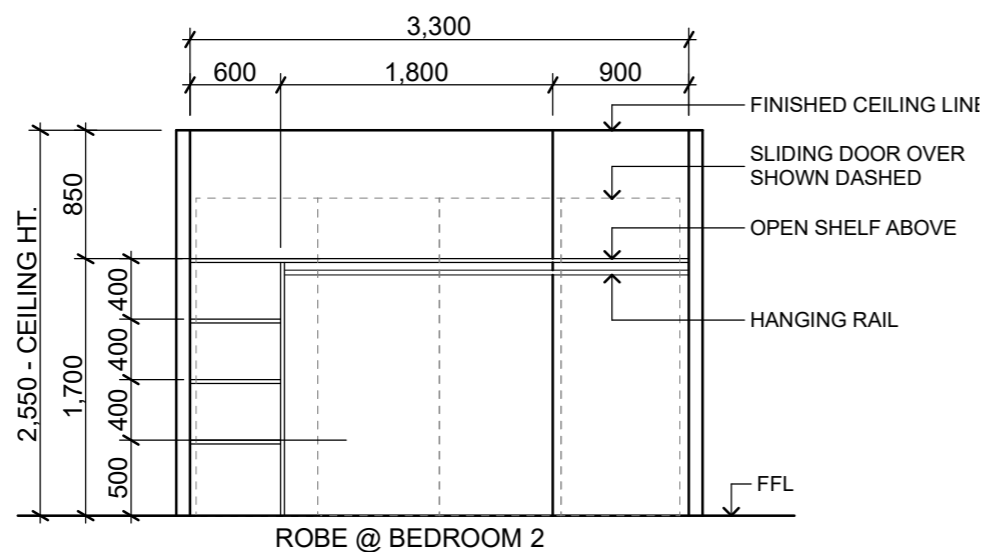
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**ELECTRICAL PLAN**

ENERGY RATERS STAMP

ISSUE DATE  
Revision 1 - 20/10/2023  
DRAWING STATUS  
**SALES STAGE**

**NOTES:**  
- SUBJECT TO CHANGE AFTER ON SITE MEASURE BY OUR SHELVING & ROBE CONTRACTOR



THESE DRAWINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY

**NEW RESIDENCE**  
LOT 10 (14B) LOMANDRA COURT, YARRAWONGA, VIC 3730

SCALE  
1:50 @ A3  
CHK. BY: -  
REG. NO.: DB-U 28382

DWG. BY: KAS

DRAWING NO.  
**XX-XXXXX-WD11**

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**SIGN HERE**  
DATE : \_\_\_\_\_

**SHELVING DETAILS**

# GENERAL NOTES

ENERGY RATERS STAMP

ISSUE DATE  
Revision 1 - 20/10/2023  
DRAWING STATUS  
**SALES STAGE**

## ENERGY RATING NOTES

### New Work

The Builder shall refer to the Energy Rating Report for details.

All glazing shall be as per the Energy Rating Report.  
All windows shall be fitted with the seals on all 4 sides.

All exhaust fans shall be self closing.  
All external swing doors & internal doors in house / garage walls shall be fitted with Raven compressible rubber door seals at the top and sides. At the bottom of all swing doors, install a Raven flap seal.  
All roof lights to be sealed with a weatherproof seal.

Refer to the Section on the Plans for details of wall insulation and ceiling insulation.

For Energy rating purposes, we have assumed a 225mm / 300mm deep minimum waffle pod will be used. If the slab is a raft slab then the Energy rating will need to be modified.

## OWNERS NOTES

Owners should be maintain their buildings in accordance with the CSIROs Home Owners Maintenance manual.

Clay soils will swell, and shrink with variations in moisture content. This movement may cause damage to the building.  
In order to minimise the damage, we recommend the following precautions be taken -

- 1) Provide adequate site drainage to ensure water will not pond against or near the building.
- 2) Grade the site within 2 meters of the building, away from the building, to ensure that no water ponds near the building.
- 3) Maintain sewage and stormwater systems to ensure no leakage occur. If they occur, repair them promptly.
- 4) Trees and shrubs should not be planted or allowed to exist, closer than 0.75 times their mature height.

Avoid establishing garden beds next to the building. Gardens and lawns should be watered adequately but not excessively. Uniform consistent watering can be important to prevent damage to the foundations during dry spells or droughts.



## BUILDERS NOTES

### STANDARDS

The Builder shall ensure the building complies with the following Regulations & Standards  
Building Code of Australia  
AS 1562 Roofing  
AS 1288 Glazing Code  
AS 2870 Slabs and Footings  
AS 3500 Plumbing Code  
AS 3660 Termite Code  
AS 3000 Electrical  
AS 1684 Timber Framing  
AS 3730 Waterproofing Code  
and all other standards nominated in the NCC

### SITE LEVELS

The Builder shall ensure the building is built at a minimum of 450mm above any adjoining ground level.  
The Builder shall grade the soil away from the building at a rate of 50mm for every meter for at least 2 meters to ensure any surface water will not pond against the building.  
If there is a Flood Level nominated on the site, the building shall be built to the minimum floor level nominated by the Building Surveyor.

### MASONRY

Incorporate Control Joints (or full height openings) in all masonry walls at a maximum of 4.5 meters cts. Locate additional joints in masonry directly over junctions in footings which are different types, eg. at House / Garage

### TERMITE PROTECTION

Treat building for termites as per AS 3660.1. Use termite resistant T2 framing (walls, trusses & all primary building elements) throughout proposed works.  
Install Homeguard Blue termite collars around all plumbing penetrations thru slab.

### TIMBER EXPOSED TO WEATHER

All timber exposed to weather, but not in ground, shall be to H3 classification.  
All timber in ground to be H5 classification.

### GLAZING - BATHROOMS, ENSUITES & SPA ROOMS

All windows within 2000mm of the floor shall have Safety glazing as per AS 1288 - 2006 SEC 5-5.8

### FLOOR TILES

Minor movement shall inevitably occur in most floors. In order to minimise any damage to floor tiles as a result of floor cracking / movement a flexible adhesive shall be used.

### DOORS

Door sizes shall be as per floorplan unless noted otherwise.  
Bathroom, Ensuites & Toilets shall have door sizes as per floor plan.  
Toilet cubicle doors shall be fitted with removable hinges.

### SMOKE DETECTORS

Smoke detectors are denoted S D on the plan. These shall be installed as per AS 3786. Where more than 1 detector is installed, they shall be interconnected electrically. Connect to main electricity supply.

## BUILDERS NOTES (cont'd)

### ASBESTOS

If any possible Asbestos material are found, they should be checked and tested. If confirmed, it must be removed by a licensed contractor in accordance with Worksafe guidelines.

### DRAINS

Piping trenches running parallel with the Building should be located at an offset from the footing equal to the depth.

### STAIR DETAILS (if required)

Riser Height - Min. 115mm, Max. 190mm  
Tread Going - Min. 250mm, Max. 355mm  
Minimum Vertical Clearance - 2000mm  
Install 1x handrail 900mm above nosing for dwellings

### BALUSTRADES

(applicable for landings, Balconies & Verandahs 1000mm minimum above the ground level)

### HEIGHT

865mm minimum above stair tread nosings  
1000mm maximum above finished floor level

### OPENING

Constructed so a 125mm sphere cannot pass through.

## NOTES FOR ENGINEERS

The Engineer engaged to carry out the design of the slabs and footings shall design the system in accordance with AS 2870, AS 3600, NCC, the Soil Test and all other site conditions such as cut/fill which may exist on the site.

The Engineer shall take into consideration trees and underground pipes which exist or may exist in the future.  
The Engineer shall collect information on all the piping systems, sewer mains, plumbers sewer drainage pipes, stormwater pipes, etc., slab heating (electric / hydronic if applicable) and design his slab / footings accordingly.  
The Engineer shall liaise directly with the Sewer Authority, plumber, client and builder to obtain the above information.

The Engineer engaged to carry out the design of the slabs / subfloor shall take full responsibility for the above.  
Lekeal Pty. Ltd does not accept any responsibility for the Engineer's work.

### DESIGN WORK BY ENGINEER

- Soil Test
- Footing Design
- Misc. Steel Beams shown on Plans
- Column to support steel beams
- Other items needing Engineering Design
- Upper Floor floor joist (if applicable)
- Bracing details

### THIS SITE - SOME OF THE ISSUES

- Engineer to note
- Sewer mains and plumbers sewer drainage pipes near footings
  - Isolated patches of fill
  - Extensive fill on site
  - Cut / fill site
  - Large tree stump holes under building
  - Sloping Site

### BRACING PLAN

Bracing Plan by Engineer if required

These are only some of the issues to be considered in the footing design. This is not a complete list of issues. The Engineer shall investigate all the issues which may effect the design and ensure that the design is appropriate and structurally sound.

The Engineers shall forward a copy of Plans, Soil Tests, Computations, etc. to Lekeal Pty. Ltd.

## NEW RESIDENCE

LOT 10 (14B) LOMANDRA COURT, YARRAWONGA, VIC 3730

SCALE  
@ A3

CHK. BY: DWG. BY:  
- KAS

REG. NO.:  
DB-U 28382

DRAWING NO.  
**XX-XXXXX-WD12**

DWG REF: 01\_0023 - IN PROGRESS - Lot 10 - Lomandra Court, Yarrawonga Vic  
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**Lekeal**  
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**GENERAL NOTES**

**SIGN HERE**

DATE : \_\_\_\_\_

# BUILDING SPECIFICATIONS - GENERAL

REFER TO BUILDERS SPECIFICATION FOR CONTRACT DETAILS AND INCLUSIONS



ISSUE DATE  
Revision 1 - 20/10/2023  
DRAWING STATUS  
**SALES STAGE**

## GENERAL CLAUSES

All work shall comply with the Buildign Code of Australia, State Government Regulations and any relevant local Government by-laws applying to the work. All work shall comply to the relevant standards for that particular trade.

**Owner** - Shall mean the owner of the building, proprietor or client. The word builder shall also mean contractor.

**Making Good** - The builder shall be responsible for any damage to adjoining roads, pavement or properties. The builder shall make good any damage at his cost.

**Temporary services** - The builder shall provide necessary temporary services such as electricity, water and sanitary accomodation.

**Drawings** - The builder shall keep on site, in good order 1x set of plans and specifications.

**Materials** - All materials shall be new and comply with the relevant sections of the Australian Standards.

**Notices and Fees** - The builder shall pay for all fees and notices (except planning permit fees) for the work to be done.

**Clean Up** - The builder shall be responsible for cleaning up the building site of any excess soil, unused materials, etc. prior to the handover.

**Site** - The owner shall be responsible for clearly identifying the site, with a licensed surveyor if necessary. The builder shall locate the house within the identified site as per plans.

**Allowances** - The builder shall allow in his price, the prime cost allowances nominated. Where items are 'Supply only' the builder shall allow in the contract sum for the labour cost to install the components. Should the expenditure exceed the allowance, the owner shall pay the builder the extra amount plus 10% of the extra amount. Should the expenditure be less than the allowance, the builder shall credit the owner the difference.

## EXCAVATOR

The owner at his expense, shall clear the site of any obstructions, likely to interfere with the building works, prior to the commencement of the building.

**Excavation** - The builder shall excavate fo footings, etc. as per the Engineer's plans, soil report and Architectural plans. The builder shall excavate for stowm water and sewer pipes required to service the building. All excavations for piped shall be back filled with approved material.

**Surplus Materials** - The builder shall remove all surplus material from the site at his cost. The builder may leave surplus material on the site if directed by the owner.

**Inspections** - The builder shall organise appropriate inspections of the founding material below the footings by the building surveyor or engineer.

## CONCRETOR

**Inspections** - The builder shall organise appropriate inspections of the slab reinforcing, prior to pouring concrete, by the building Survey or Engineer.

**Concrete** - All concrete shall have minimum strength of 25Mpa at 28 Days. It shall have a maximum slump of 80mm.

**Reinforcement** - All reinforcement shall be in accordance with Australian Standards 1302, 1303, 1304 & 1480. All slab mesh shall have 25 cover to the top.

**Standard** - All work shall be carried out to ensure compliance with Australian Standard 2870 and to the Engineer's drawings.

**Footings and verandah posts** - See Engineers Plan

**Finish** - The finish shall be steel trowelled, appropriate for the final finish.

**Verandah and Footpaths** - Unless noted otherwise on the plans, use 100mm thick slabs with SL72 mesh in the top for non-filled areas. See engineers drawings for slabs overfill. Install tooled control joints at 1.2 meter cts. for the length of the slab. Fall verandahs and footpaths to create cross fall.

**Garage slab** - See plans

**Moisture barrier** - All slabs shall be protected from moisture penetration from below with a 0.2mm plastic vapour barrier. Lap and tape all vapour barriers. Tape barrier around plumbing penetrations to eliminate any chance of moisture penetration.

## MASONRY

**Set-out** - All masonry shall be set out with a gauge rod to ensure every course is horizontal. The masonry shall be laid with a stretcher bond. All perpend in every 2nd course will line up vertically.

**Standard** - All masonry shall comply with Australian Standard 3700.

**Sills** - All sills will be brick on edge, set 30° to the horizontal and shall overhang the wall by 20mm.

**Mortar** - The colour and type of the mortar shall be nominated by the owner.

**Lintels** - All steel Lintels supporting Masonry shall be galvanised in accordance with Australian Standard 3700. Lintels shall have an end bearing of 200mm.

**Door sills** - All door sills shall be brick on edge.

**Damp proof courses** - All masonry shall have an approved damp proof course to prevent the movement of damp vertically up brickwork. The builder may use an approved chemical damp proof course mixed and used as per the manufacturer's recommendations or embossed opaque plythene film a minimum of 0.25mm thick.

**Wall ties** - All wall ties shall be installed as per Australian Standard 2699 - See plans.

**Cleaning** - Point up all flashings, pipe penetrations, etc. Clean brickwork with spirits of slats diluted to a maximum of 1 in 10. Wash down Masonry with water after cleaning.

## CARPENTRY

All timber used shall comply with Australian Standards 1684 and 1720.

**Frames** - See plans for stud and plate sizes. Install studs at all jambs as per Australian Standard 1684. Secure bottom plate to slab with concrete nails at 600 cts. All walls shall be erected plumb, square and true in line. All studs shall be straightened, if require prior to lining. See Australian Standards 1684 for sheet bracing or metal angle wall braces.

**Shower recess** - Check wall to suit shower base nominated on plans.

**Bath** - Check wall to suit bath. Make water tight.

**Eave and verandah lining** - Where shown on the drawings, install 4.5mm cement sheet lining, joined with PVC cover straps. Fix sheets to 90x35mm MGP 10 pine at 450mm cts. or as per plans. All tiled roofs to have lined verandahs. All eaves are to be lined.

**Roof trusses** - Supply and install prefabricated roof trusses as per manufacturer's design. Supply and install tie downs, girder truss, connector plates strictly as per manufacturer's specifications.

**Architraves and skirtings** - To be selected by owner. Supply and install a skirting board at all floor / wall junctions. Supply and install an architrave around every door and window. Neatly mitre achitrave's at corner.

**Door frames** - Supply and install one ex 150x38mm H.W. or meranto solid door frame around the perimeter of every external door. Door stops to be 50x10mm (nominal). Internally supply and install a 110x25 H.W. door frame with a 30x10 door stop. Secure frames to studs. Fix frames level and true.

**Cavity doors** - Supply and install built-in robes where shown on plan. Install 1x Melamine shelf 1700mm from floor and 1x chrome hanging rail suspended from shelf for each robe. At one side of robe supply and install 600mm wide adjustable shelving. Supply and install Melamine shelves normally spaced at 400cts. Line the inside of robes with plasterboard as per remainder of house. Paint inside of cupboards. Fix door jambs to perimeter of door openings to robes together with architraves mitred at corners.

## TIMBER EXPOSED TO WEATHER

All timber exposed to weather, but not in ground, shall be to H3 classification.

All timber in ground to be H5 classification.

**Linen press** - Supply and install linen press where shown on plans. Install melamine shelves at 400mm cts. (nominal)

**Broom cupboard** - Supply and isntall a broom cupboard with 1x melamine shelf 1700mm from floor.

**Joiner** - Supply and install kitchen cupboards and other joinery wher shown on plan. Finishes as per plans. Install a 50mm deep x 100mm high kick recess at base. Joinery to be manufactured by an approved cabinet maker. Install a bulkhead over overhead cupboard. See plans for number of drawers. In top cutlery drawer install a plastic cutlery tray. All cupboard doors to have concealed adjustable hinges.

Vanity Units - unless noted otherwise on plans, all vanity units to be fabricated by a joiner.

## ROOFING

The builder shall supply and install roofing as per plans in accordance with the relevant Australian Standard. All ridge & hip tiles and valley gutters shall match the roof colour. Where sheet roofing is nominated on the plans, the roofing shall be installed strictly as per the manufacturer's recommendations. All sheet roofing to be Custom Orb unless noted otherwise, in one length. Water Tight - It is responsibility of the builder to ensure the building is completely water tight.

Gutters - Supply and install gutters as per plan. Fall gutters 1:400 to downpipes. All gutter joins to be sealed. Install downpipes to pops from gutters. Attached gutters to walls at 900 cts. with straps fixed to wall. All flashings shall be either lead flashings or 0.6mm metal.

## PLUMBING

All plumbing to be carried out by the licesed plumber in accordance with AS 3500 and the relevant plumbing regualtions.

Water supply shall be extended from the front of the site of the house. If a tapping is required from the mains, it shall be done at the owners expense. The builder shall assume the point of supply for water is within 15meter from the house. If it is greater than 15meters, the owner shall bear the additional cost. For houses without access to a water main the builder shall allow for the 15meter of line as above. The costs of pumps and tanks, etc. unless noted otherwise, shall be borne by the owner. Install a stop cock to enable the water supply to the house to be controlled. Garden Taps - The builder shall allow for 4x garden taps for the house, which will be attached to the house unless noted otherwise. 2x tap will be at the front and 2x will be positioned at the rear of the house. The owner shall approve the exact positions prior to installation.

Hot Water Service - If electric hot water services is installed, the builder shall install a 315 litre Thermann or approved similar. Where a natural gas hot water service is installed, the builder shall install a 26L Thermann continuous flow / Rinnai unit or simliar approved. Where a solar hot water service is installed, the builder shall install a 315 Thermann / 270 L or 320 L Rinnai solar gas boosted unit or approved similar. Install a HWS strictly as per manufacturer's recommendations. All hot water services shall be mains pressure units.

Taps - To be nominated by owner  
Sanitary Plumbing - All sewerage work shall be carried out by a registered plumber approved by the local authority with control over the work. Any fees and charges associated with the work shall be paid for by the builder. In areas which are not sewerred, install a septic system to the approval of the local authority which has control over the work. See Inclusions Sheet  
Drainage - The plumber shall install stormwater pipes to connect to all the downpipes and discharge point approved by the local authority having control over drainage matters. All pipes shall be 90ø PVC falling in 1 in 400 meters minimum to the point of discharge. Provide a minimum of 200mm cover at high end. Seal all pipes with appropriate glue.

Sloping Sites - On all sites on which the land falls to the building, the builder shall install agricultural pipes embedded in 12mm crushed rock , & earth surface drains which ensure surface water & sub-surface water will not pond against or near the building.

**Gas Piping** - All gas pipes and fittings shall be installed as per the Authorities regulations. with control over the works requirements. The work shall be carried out by a registered gas fitter. The builder shall extend the gas line from the appliances nominated as gas appliances (See Inclusions Sheet), to the source of supply. All gas pipes shall be appropriately sized to suit the requirements of the appliances being served, and the requirements of the gas regulations.

## ELECTRICAL

All work shall be carried out by a registered electrician in accordance AS 3000 & with the authority with jurisdiction over the work. The electrician shall give appropriate notices, pay fees and obtain any required inspections of the work, prior to handover of the building.

Meters - The builder shall co-ordinate with the supply authority to ensure that a waterproof cabinet, by builder, is installed at an appropriate location for the installation of the meters.

Wiring - Wire to all light fittings, power outlets and appliances requiring direct connections. Provide provision to switchboard. All wiring shall be concealed.

Consumer Mains - Supply and install a mains, from the point of supply from the electricity supplier to the building. At the tender stage the builder shall determine the type of mains allowed-either underground or overhead and allow this in his tender price.

**Light Control Points** - Locate light switches 1000 from floor.

**GPO's** - Locate GPO's 300 from floor or 150 from the bench tops.

**TV Outlets** - Install TV points as per plan and extend line into ceiling space with 7 meters of spare line provided for connection to aerial.

Aerial is not in contract.

## PLASTERER

**Plaster** - Supply and install flush set plasterboard to all walls and ceilings throughout the entire building unless noted otherwise on the plans. To the wet areas use water resistant plasterboard. At all corners install a metal backing angle. See plans for plaster thickness. All plasterboard shall be installed strictly in accordance with the manufacturers recommendations.

**Cornices** - To be selected by owner.

## TILING

**Extent** - Extent of wall tiling to be confirmed by owner. See Plans for extent of floor tiles.

150 min high skirting tiling to wet ares. See plan for extent of floor tiles.

**Adhesives** - The builder shall use adhesives in accordance with the manufacturer's recommendations. Use flexible adhesives for floor tiles.

**Tiles** - To be selected by client. Grout colours to be nominated by owner.

## PAINTING

**Extent** - Paint all fascias, downpipes, verandah posts, eaves lining, doors, plasterboard, skirting, architraves and any other surfaces which are not pre-finished.

**Standard** - The builder shall apply a minimum of 2x coats to ensure that no blemishes or streaks occur. The builder shall apply additional coats if required. All work shall be carried out in accordance with the paint manufacturer's recommendations for preparation and application of the paints.

**Colours** - To be nominated by client.

### Paint Type - External

Timber and metal	-	2 coats of gloss acrylic
Downpipes	-	2 coats of gloss acrylic
Eaves	-	2 coats of matt acrylic

### Paint Type - Internal

Doors	-	2 coats of gloss enamel
Skirting & Architrave	-	2 coats of gloss enamel
Walls	-	2 coats of Wash N Wear acrylic
Ceiling	-	2 coats of matt acrylic

## CLEAN UP

The builder shall remove from the site any unused uilding materials, rubbish, etc. The builder shall level the site of any surplus soil, etc. The builder shall clean the windows & house generally, ready for occupation.

**SIGN HERE**

**DATE :** \_\_\_\_\_

## NEW RESIDENCE

LOT 10 (14B) LOMANDRA COURT, YARRAWONGA, VIC 3730

SCALE  
@ A3

CHK. BY:

DWG. BY:

KAS

REG. NO.:  
DB-U 28382

DRAWING NO.

**XX-XXXXX-WD13**

DWG REF:  
01.00.23 - N.F.P.O.C. - SS - Lot  
10 - Yarrawonga Court

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# Lekeal

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## SPECIFICATIONS